

**CHARTER TOWNSHIP OF ELMWOOD  
PLANNING COMMISSION REGULAR MEETING  
WEDNESDAY November 13, 2024 at 6:30 PM  
Location: Township Hall (10090 E. Lincoln Road, Traverse City, MI)**

**Commission Members:**

Rick Bechtold, Chair  
Jeff April, Vice-Chair  
Jonah Kuzma, Secretary  
Doug Roberts  
Kendra Luta  
Nathan McDonald  
Chris Mikowski

**PROPOSED AGENDA**

- A. Call to order – 6:30 PM
- B. Pledge of Allegiance
- C. Roll Call
- D. Limited Public Comment - *Only on Agenda Items with no Public Hearing Process; see rules on agenda*
- E. Agenda Modifications/Approval
- F. Minutes – October 15, 2024
- G. Consent Calendar: Approve/Receive and File
  - ZA Report
  - MI Zoning Atlas Article
  - Traverse City Adopted Master Plan
  - Notice of Public Hearing – Drainage District
  - Housing Summit Materials Available
- H. Declaration of Conflict of Interest (*Items on the Agenda*)
- I. Old Business
- J. New Business
  - 1. SPR 2024-06 (no public hearing required). Request by TCWC Holding Company, LLC regarding property at 9432 S Center Hwy (Parcel 004-008-009-20) for a Distillery Tasting Room, visitor’s center, and offices for TC Whiskey. *Note: this review is for the site plan associated with SPR/SUP 2022-05; the SPR portion of that approval has expired.*
  - 2. Capital Improvement Plan. Public Hearing followed by Planning Commission deliberations.
  - 3. Master (Comprehensive) Plan. Commission review and discussion on prepared chapters.
- K. Discussion on Zoning Ordinance
- L. Comments from the Chair
- M. Comments from Planning Commissioners
- N. Comments from Staff
- O. Public Comment-Any Items- See Rules below
- P. Adjourn

**Public Comment Rules:**

- This is an input option. The Commission will not comment or respond to presenters. Silence or non-response from the board should not be interpreted as disinterest or disagreement by the board. Speakers are asked, but not required, to identify themselves by name and address
- Limit comments to 3 minutes for limited public comment and 2 minutes for public comment at the end of the agenda
  - Comments shall be addressed to the chair, not individual board members or others in the audience



**Charter Township of Elmwood  
Planning Commission Regular Meeting  
Elmwood Township Hall (10090 E. Lincoln Rd)  
October 15, 2024 at 6:30 PM**

**A. Call to Order:** Chairman Bechtold called the meeting to order at 6:30 PM.

**B. Pledge of Allegiance:** The Chair led the Pledge of Allegiance.

**C. Roll Call: Present:** Chris Mikowski, Doug Roberts, Kendra Luta, Rick Bechtold, Jeff Aprill, Jonah Kuzma. **Absent:** Nate McDonald

**D. Limited Public Comment:** None (open and closed at 6:31pm)

**E. Agenda Modifications/Approval:** *MOTION BY COMMISSIONER APRILL, SECONDED BY COMMISSIONER ROBERTS TO APPROVE THE AGENDA AS PRESENTED. MOTION PASSED 6-0.*

**F. Minutes-September 17, 2024:** Staff noted that the minutes did not include the conditions, so revised minutes were available for the Commission to review. The Commission also determined that on p. 9, Luta should be modified to say 'A Commissioner.' *MOTION BY COMMISSIONER APRILL, SECONDED BY COMMISSIONER KUZMA TO APPROVE THE MINUTES OF THE OCTOBER 15, 2024 MEETING AS MODIFIED. MOTION APPROVED UNANIMOUSLY.*

**G. Consent Calendar: Approve/Receive and File: ZA Report, SPR/SUP 2023-05 – Taproot Farmstead – Minor Amendment.** *MOTION BY COMMISSIONER KUZMA, SECONDED BY COMMISSIONER LUTA, TO FILE THE CONSENT CALENDAR AS PRINTED. MOTION PASSED BY A UNANIMOUS VOTE.*

**H. Declaration of Conflict of Interest:** None

**I. Old Business:** None

**J. New Business:**

**1. Extension Request, SPR/SUP 2022-06 – Request by Megan Feenstra Wall regarding property at 9432 S Center Hwy (Parcel 004-008-009-20) for work described as a Distillery Tasting Room, Visitor’s Center, and offices. 1 year extension requested to the SUP; no more extensions available for the SPR.**

Staff relayed that Chris Fredrickson was unable to attend. In the Commission’s packets there is memo detailing the request and citing sections of the Ordinance regarding extensions. There is also the letter requesting the extension as well as the letter for the first extension request. Commissioner Aprill asked about the work done onsite. Staff read from the extension request letter. *MOTION BY COMMISSIONER LUTA, SECONDED BY COMMISSIONER APRILL TO SCHEDULE A PUBLIC HEARING FOR SPR/SUP 2024-05 REQUEST*

*BY LA FEMME PROPERTIES LLC REGARDING PROPERTY AT FARM CLUB. MOTION APPROVED UNANIMOUSLY.*

**2. Introduction. Capital Improvement Plan – Review, discuss, and schedule public hearing.**

Staff gave a brief overview over what a Capital Improvement Plan is; department heads prepared a list of projects to include and the draft plan incorporates these proposed projects. Commissioner Luta noted that a couple of projects don't list a contributing fund, to which Staff said that can be corrected. Commissioner Roberts asked if the fiberglass pump boxes are for pump outs, to which staff said they thought so, but would confirm with the Harbormaster. The Commission determined to move forward with a public hearing on the draft plan. *MOTION BY COMMISSIONER ROBERTS, SECONDED BY COMMISSIONER KUZMA TO SCHEDULE A PUBLIC HEARING FOR THE CAPITAL IMPROVEMENT PLAN AT THE NEXT REGULAR MEETING. MOTION APPROVED UNANIMOUSLY.*

**K. Discussion on Zoning Ordinance:** Staff said that there will be some discussion on this at the next meeting.

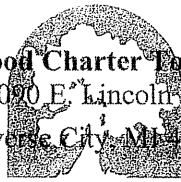
**L. Comments from the Chair:** Chairman Bechtold thanked the Commissioners for their hard work and relayed that he thought the open house held for the Master Plan was a good way for the public to understand what the Planning Commission does and he hopes they can do more of this in the future.

**M. Comments from Planning Commissioners:** None.

**N. Comments from Staff:** Staff thanked the Commissioners and noted that tonight was a shorter meeting; November will be longer as they will have the public hearing on the capital improvement plan, TC Whiskey's Site Plan Review, and our consultant will be present to discuss chapters for the Master Plan, that she knows they are working on but has not seen yet.

**O. Public Comment:** None (open and closed at 6:55pm)

**P. Adjourn:** *MOTION BY COMMISSIONER KUZMA, SECONDED BY COMMISSIONER LUTA TO ADJOURN THE MEETING AT 6:56 PM. MOTION APPROVED UNANIMOUSLY.*



To: Elmwood Township Board  
From: Sarah Clarren, Planner/Zoning Administrator  
RE: October 2024 Planning and Zoning Report

PERMITS:	10/2024	10/2023	YTD 2024	YTD 2023
Single Family Dwelling	0	2	17	12
Attached SFD	0	0	0	0
Accessory Building	1	1	4	4
AG Building	0	2	2	5
Residential Addition	0	3	3	10
Deck	1	0	12	8
Sign	1	0	3	3
Commercial	1	0	5	4
B&B	0	0	3	0
Misc.	2	0	7	9
Total Permits	6	8	57	56
Fees Collected	\$350	\$577.10	\$6,036.57	\$5,640.31

**Zoning Board of Appeals:**

**October 2**, Regular Meeting. *Cancelled due to no new hearings.*  
**November 6**, Regular Meeting. *Cancelled due to no new hearings.*

**Planning Commission:**

**October 15**, Regular Meeting. 1) Extension Request. SPR/SUP 2022-06 – Request by Megan Feenstra Wall regarding property at 9432 S Center Hwy (Parcel 004-008-009-20) for work described as a Distillery Tasting Room, Visitor’s Center, and offices. *1 year extension requested to the SUP; no more extensions available for the SPR. – extension granted.* 2) Introduction. Capital Improvement Plan – Review, discuss, and schedule public hearing – *Commission scheduled public hearing for next meeting.*

**November 13**, Regular Meeting. 1) SPR 2024-06 (no public hearing required). Request by TCWC Holding Company, LLC regarding property at 9432 S Center Hwy (Parcel 004-008-009-20) for a Distillery Tasting Room, visitor’s center, and offices for TC Whiskey. *Note: this review is for the site plan associated with SUP 2022-05; the SPR portion of that approval has expired.* 2) Master (Comprehensive) Plan. Commission review and discussion on prepared chapters. 3) Capital Improvement Plan. Public Hearing followed by Commission deliberations.

**Office Updates:**

**STRs.** 93 licenses for 2024 have been issued. 13 applications are on waitlist. Renewal period ran 10/1 – 10/31; office did not receive renewal applications for 7 properties.

**Trainings/Conferences.** Staff attended the NWM Housing Summit 10/24-10/25. Presentations are available on Housing North’s webpage (<https://www.housingnorth.org/nwm-housing-summit-attendees>)

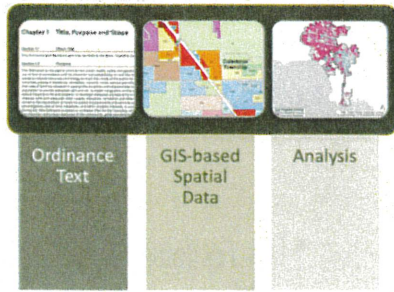
**Parks.** Consultant has revised Conceptual Plan 3 pursuant to the Board’s comments; due to the number of agenda items on the Board’s November meeting, this matter will be postponed to the December agenda. Equipment update: all equipment has been delivered. The Tot’s Choice structure has been installed. Per the Facilities Director, the other equipment will be installed in the spring.

**Northwest Regional Airport Authority (NRAA) Joint Airport Zoning Board.** Meeting held on 10/16. Next meeting scheduled for 1/8/25.

**Master (Comprehensive) Plan.** Beckett & Raeder continuing to work on chapters which will likely be discussed by the Commission later this fall.

# Michigan Zoning Atlas

A zoning atlas combines each community's ordinance text and spatial data about zoning boundaries into a single interactive map. This makes new analyses possible.



Flywheel

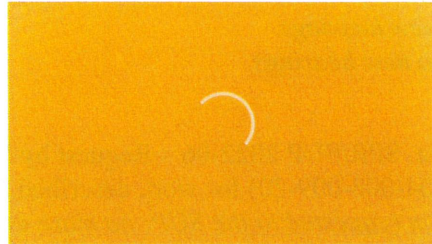
## Zoning Atlas Coming to Grand Traverse County

By Beth Milligan | Oct. 26, 2024

A new tool is in the works that could help bring more housing to Grand Traverse County: a zoning atlas, or an interactive map that compiles zoning rules and parcel data to show where housing can be built (or not) – and where regulations could be changed to encourage more development.

The Grand Traverse County Economic Development Corporation (EDC) recently approved contributing \$40,000 toward an \$88,000 proposal from Housing North to develop a zoning atlas for Grand Traverse County. The region will be the second pilot area for such a tool after one was recently created covering 85 local jurisdictions in Ottawa, Kent, and Muskegon counties downstate. Michigan is one of 30 states that have begun a coordinated effort to develop a zoning atlas statewide in partnership with the National Zoning Atlas project.

FEATURED VIDEOS



"The rising cost of housing and a broader mismatch between Michigan's housing stock and housing needs have fostered local, regional, and statewide interest in the need for reform," according to the [Michigan Zoning Atlas website \(https://www.mizoningatlas.org\)](https://www.mizoningatlas.org). "There is growing interest in investigating zoning reform, especially to allow for more diverse housing types that can offer more affordable options that are near jobs and amenities. Many communities are realizing they lack the diverse forms of housing needed for today's populations, but in many cases policymakers are flying blind: there is no consistent, high-quality data describing the boundaries and details of Michigan's zoning codes."

With the EDC's support, Housing North is partnering with Flywheel Companies, the University of Michigan, and the Michigan Association of Planning to create Grand Traverse County's zoning atlas. "This will include a database and interactive map of all the housing-related zoning codes in the county," according to the proposal. "The value of this resource will be a shared understanding among policymakers, lenders, developers, and nonprofits of exactly what types of housing can be built in the county and where it is currently permitted. We can then benchmark our known housing needs against the current state of regulation to determine what changes might be most beneficial to the community."

Yarrow Brown of Housing North – who is working on securing grant funding to cover the rest of the project budget – says the project will also include digitizing local zoning maps and adding in infrastructure and GIS data, such as showing where wetlands or other natural resources are located. Those layers of information can help reveal bigger-picture patterns, Brown says, such as that a township has its high-density zoning clustered in wetland corridors. "Does that make sense?" she asks. It can also reveal, for instance, that a community's zoning is overwhelmingly focused on single-family homes, which might be hindering building multi-family apartments, duplexes, or other types of desired diverse housing.

Beyond the zoning atlas, the project also calls for growth corridor mapping and scenario modeling – showing how housing growth could look under the status quo versus under different zoning changes. The mapping will also show "underutilized, vacant, blighted, and functionally obsolete properties along major corridors throughout Grand Traverse County with access to water and sewer infrastructure," identifying possible sites for redevelopment.

Brown says the zoning atlas and related tools will not only be useful for developers and local leaders, but also for citizens looking to better understand their community's zoning. "If you want to better understand Traverse City's need for zoning reform, you could get that vision," she says. The project is expected to kick off in November and take a year to complete, with public meetings planned along the way to engage residents in the process and teach them on how to use the final product. "It'll be developed collaboratively," Brown says. "We want to hit the ground running as soon as possible."

housingnorth.org/nwm-housing-summit-attendees



## **Resources**

Explore resources from the Housing Summit! These resources are here to support your work in creating housing solutions. We hope these materials inspire and empower you to drive positive change in our communities.

- [Wage VS Housing Affordability Info Sheet](#)
- [State Agencies Panel Presentation](#)
- [City of Frankfort - Housing Summit - Bus Tour Info](#)
- [Becky McCray - Keynote Speech Presentation](#)
- [State of the Region - Yarrow Brown](#)
- [How are Northwest Michigan communities using the housing tools to bring more housing](#)
- [The Land of Opportunity: Community Land Trust Projects in NW Michigan](#)
- [Community Capital Investment](#)
- [Managing Housing TIF Incentives: A BRA Policy Conversation](#)
- [Housing in Plain English - Toby Muresianu](#)
- [How can NW Michigan use Modular and Manufactured technology to meet our housing needs](#)
- [Housing Forward](#)
- [Peninsula Housing - Community Land Trusts](#)



## Sarah Clarren

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**From:** Shawn Winter <swinter@traversecitymi.gov>  
**Sent:** Monday, October 28, 2024 12:12 PM  
**To:** Kelly Dunham; John Sych; Imcmanus@garfield-twp.com; Claire Karner; plc@eastbaytwp.org; Sarah Clarren; Connie Preston; Christopher Forsyth; commissioners@gtcountymi.gov; msrussell@glcrailroad.com; Wagner, Dan (MDOT); janie.mcnabb@networksnorthwest.org; Peninsula Township Planning; Becky Chown; Art Krueger; Brandie Ekren; CityPlanningCommission\_2021\_Group; dwatkins@gtcrc.org; khendges@gtcrc.org  
**Subject:** Traverse City Master Plan

To our neighbors and partners,

This email is to provide notification that the City of Traverse City Planning Commission adopted the proposed Master Plan at a special meeting on August 20, 2024, pursuant to Michigan Planning Enabling Act (PA 33 of 2008, as amended). It may be accessed at the following link:

<https://www.traversecitymi.gov/government/reports-and-resources/>

The planning document is presented in three parts:

- Supplemental community report
- Prescriptive plan portion
- Mobility Action Plan (sub-topic plan adopted in the master plan appendix)

Please contact me if you have any questions.

--

Shawn Winter (he/him)  
Planning Director



**CITY OF  
TRAVERSE CITY**

400 Boardman Ave  
Traverse City, MI 49684  
P: 231.922.4465

Want to receive e-updates from the City? Sign up for the [City's E-Newsletter & Updates!](#)





# LEELANAU COUNTY DRAIN COMMISSION

Steve Christensen, *Drain Commissioner*

8527 E. Government Center Dr., Suite #205, Suttons Bay, MI 49682 ▪ 231-256-9783  
www.leelanau.gov ▪ schristensen@co.leelanau.mi.us

## STATE OF MICHIGAN

### OFFICE OF THE LEELANAU COUNTY DRAIN COMMISSIONER NOTICE OF MEETING OF BOARD OF DETERMINATION

#### In the Matter of: Elmwood Township Drain #1

**Notice Is Hereby Given** to you as a property owner or municipality who may be liable for an assessment for benefits derived, that a Board of Determination, composed of three (3) disinterested property owners of Leelanau County and one (1) alternate will meet **at 7:00 p.m. on Thursday, November 21, 2024, in person in the Commissioner Meeting Room of the Leelanau County Government Center, 8527 E. Government Center Dr., Suttons Bay, Michigan**, to hear all interested persons and evidence and to determine whether the drain, known as the **Elmwood Township Drain #1**, located in Elmwood Township and Traverse City, Leelanau County, as prayed for in the petition for maintenance and improvement, dated September 10, 2024, is necessary and conducive to the public health, convenience, and welfare, in accordance with Sections 72 and 191 of Act No. 40, P.A. 1956, as amended.

Proceedings conducted at this public hearing will be subject to the provision of the Michigan Open Meetings Act. You are further notified that information regarding this meeting may be obtained from the Leelanau County Drain Commissioner. Persons with disabilities needing accommodations for effective participation in the meeting should contact the Leelanau County Drain Commissioner's office at the number noted below (voice) or through the Michigan Relay Center at 7-7-1 (TDD) at least 72 hours in advance of the meeting to request mobility, visual, hearing or other assistance. Minutes of the meeting will be on file at the Leelanau County Drain Commissioner's office.

If you are unable to attend the Board of Determination in-person, you can watch it livestream on Leelanau County's YouTube Channel at:

[https://www.youtube.com/channel/UCNQTgIgcTedF2qB8floC1GQ?view\\_as=subscriber](https://www.youtube.com/channel/UCNQTgIgcTedF2qB8floC1GQ?view_as=subscriber)

If you wish to submit comments to the Board of Determination, they may be submitted to the Drain Commissioner in writing before the meeting at the Office of the Leelanau County Drain Commissioner, 8527 E. Government Center Dr., Suite #205, Suttons Bay, Michigan 49682 or by emailing the Drain Commissioner, Steve Christensen at [schristensen@leelanau.gov](mailto:schristensen@leelanau.gov). Comments submitted in advance must be received by the Drain Commissioner prior to the Board of Determination to ensure consideration.

**You Are Further Notified** that persons aggrieved by the decision of the Board of Determination may seek judicial review in the Circuit Court for the County of Leelanau within ten (10) days of the determination if the maintenance and improvement of the drain is found necessary and conducive to the public health, convenience or welfare, a special assessment may be levied against properties or municipalities that benefit. Any owner or party having an interest in property that may be assessed, or his or her agent, may appear in person to comment on the necessity of the petition.

DATED: October 24, 2024

A handwritten signature in black ink, appearing to read "Steve Christensen".

Steve Christensen  
Leelanau County Drain Commissioner



# LEELANAU COUNTY DRAIN COMMISSION

Steve Christensen, *Drain Commissioner*

8527 E. Government Center Dr., Suite #205, Suttons Bay, MI 49682 ■ 231-256-9783

www.leelanau.gov ■ schristensen@co.leelanau.mi.us

TO: Owners of potential properties within the petitioned Elmwood Township Drain #1 Drainage District

FROM: The Office of the Leelanau County Drain Commissioner

SUBJECT: Elmwood Township Drain #1,  
Petition for Maintenance and Improvement of an existing county drain

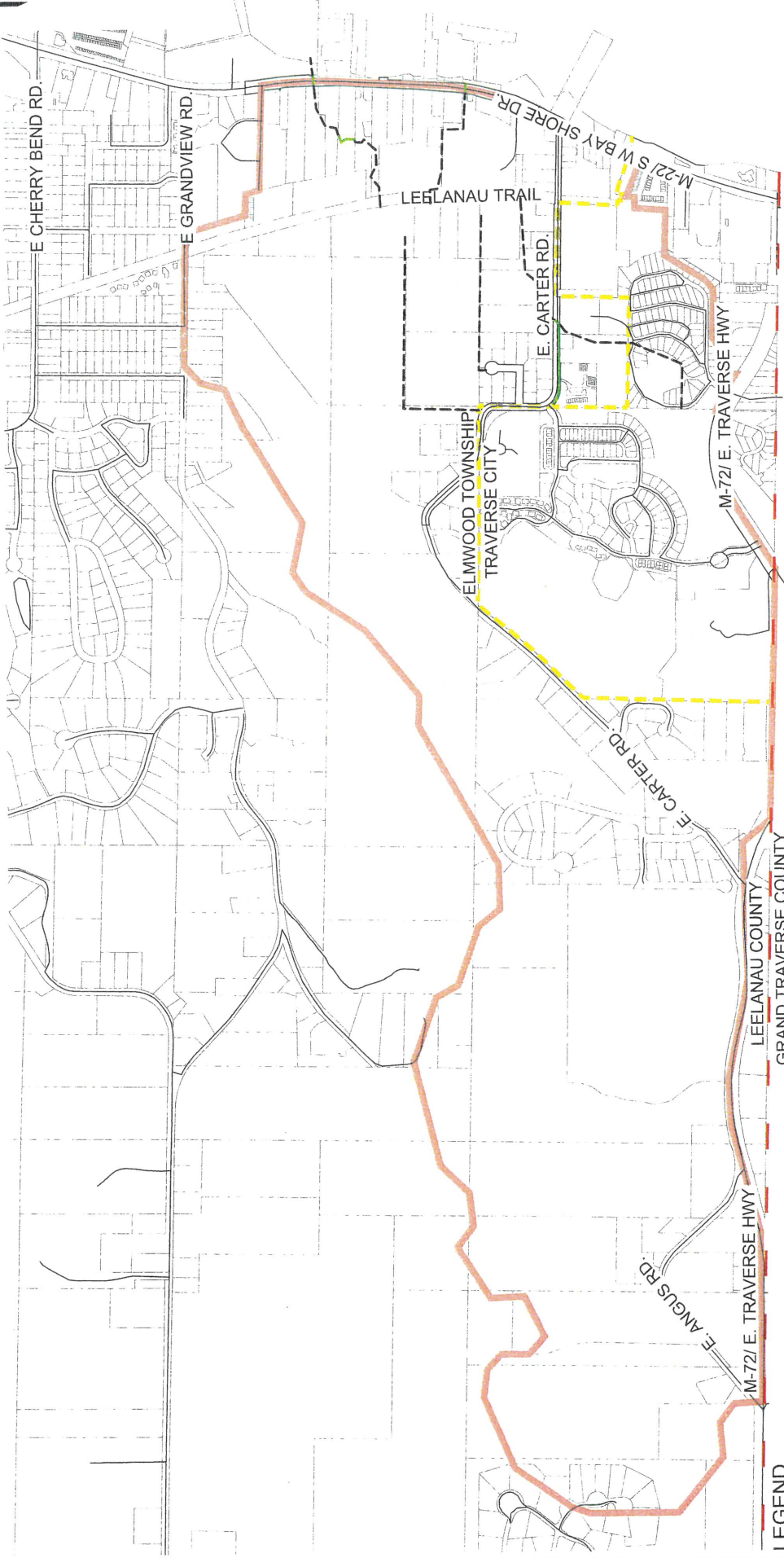
DATE: October 24, 2024

A petition was filed with this office requesting maintenance and improvement of an existing County Drain, pursuant to the Michigan Drain Code of 1956, as amended. The petition was filed by Elmwood Township because of drainage and flooding issues west of M-22 & south of Carter Rd, as well as culvert replacements along Carter Rd. The Michigan Drain Code is the state law that governs the actions of my office and this particular process in that when a petition is received by my office, a public meeting, known as a Board of Determination, is to be held to determine if the petition request is necessary. The Board of Determination is comprised of three (3) citizens of Leelanau County who do not live in the Drainage District or own lands within the township(s) affected by the Drain. This Board will meet on the designated time and date to hear and consider input on the necessity of the drain petition and will give opportunity for public comment for all in attendance. If you cannot personally attend, you can have a representative attend to speak on your behalf or you can send written comments that will be given to the Board for consideration at the hearing. Written comments must be received by my office at least 24 hours prior to the hearing. The decision whether the Drain Petition is / is not necessary will be made at the end of the hearing by the three-person Board and will be based upon evidence (testimony, public comment, picture, documentation, etc.) as to whether a drainage problem exists, such that the petition can remedy the problem.

The enclosed notice is being sent to you because you are an owner of record of property within the proposed Drainage District or a property near the proposed District and may be liable for an assessment if the Elmwood Township Drain #1 petition is found necessary. A Drainage District is the area of land that contributes at least some portion of water flowing in a drain or is comprised of properties benefiting from the proposed new Drain. Water in the Drain comes from rainfall on roads, driveways, fields, lawns, and woods and the Drain is typically the collection point of the downstream disbursement of various means of transport from upstream properties (ditch, culverts, pipes, surface flow, etc.).

**SEE REVERSE SIDE FOR NOTICE OF MEETING, INCLUDING WAYS TO PARTICIPATE**

# ELMWOOD TOWNSHIP DRAIN #1 DRAINAGE DISTRICT BOUNDARY



**LEGEND**

- DRAINAGE DISTRICT BOUNDARY
- CORPORATE LIMITS
- COUNTY LINE
- ROADS
- PARCEL BOUNDARIES
- EXISTING ROUTE & COURSE
- EXISTING WATERCOURSES

TOTAL DRAINAGE DISTRICT AREA: 908 ACRES  
 AREA WITHIN ELMWOOD TOWNSHIP: 730 ACRES  
 AREA WITHIN TRAVERSE CITY: 178 ACRES





LEELANAU COUNTY DRAIN COMMISSIONER  
Steve Christensen  
8527 E. Government Center Dr., Suite #205  
Suttons Bay, MI 49682  
(231) 256-9783

# FAQS

## FREQUENTLY ASKED QUESTIONS

### Elmwood Township Drain #1 – Board of Determination meeting

#### ***What is a Board of Determination?***

A Board of Determination is a 3-member panel of disinterested property owners. The role of the Board of Determination is to receive evidence and hear testimony of interested persons and determine whether the petitioned maintenance and improvement of the Elmwood Township Drain #1 is necessary and conducive to the public health, convenience or welfare.

#### ***What is a Drainage District?***

A drainage district is the land area that benefits from the proposed drain. The drainage district makes up the watershed that would contribute water to the proposed drain. Each property and municipality within the drainage district pays for the construction (or establishment) of the Drain and for future maintenance and improvement of the drain.

#### ***Why did I receive a notice?***

A petition from Elmwood Township was filed with the Leelanau County Drain Commissioner requesting for the maintenance and improvement of an existing county drain. All property owners with lands in the Drainage District were sent a copy of the notice, as well as adjacent landowners to the Drainage District.

#### ***Does the Board of Determination decide what work gets done?***

No, the Board of Determination decides necessity, but does not determine the scope or cost of the project. Further, the Board of Determination does not determine how much property owners and municipalities will be assessed.

#### ***Does the decision of the Board of Determination have to be unanimous?***

No, only a majority vote of the Board of Determination is required. Only the members of the Board of Determination vote. The attendees at the meeting do not vote, but instead provide testimony to the Board members to assist in their determination.

#### ***What is my assessment amount?***

Estimated assessment amounts are not yet determined. If the Board of Determination finds the project necessary, the Drain Commissioner will hold a public meeting to review apportionments after a project scope has been determined. Notices for the public hearing on assessments will be sent out at a later date.

#### ***Do I have to attend the Board of Determination?***

No, you are not required to attend the Board of Determination; however, it is your right to do so.

#### ***Can the decision of the Board of Determination be appealed?***

Yes. If a person feels aggrieved by the board's determination of necessity, he/she may institute an action in circuit court within 10 days under MCL 280.72a.

#### ***How can I get more information?***

Visit the Leelanau County Drain Commissioner's website and click on the 'Elmwood Twp Drain #1' at: <https://www.leelanau.gov/lcdraincomdd.asp> or call (231)256-9783.



To: Elmwood Planning Commission  
From: Sarah Clarren, Planner/Zoning Administrator  
Date: October 16, 2024  
RE: Capital Improvement Plan (CIP)

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The Michigan Planning Enabling Act requires the Planning Commission to draft a Capital Improvement Plan (CIP) for the Township Board. Included in the CIP are any projects, structures, equipment, or expenditures that are over \$10,000 and will last for more than a year. Below is the process for approval.

1. Department Heads submit projects for the next 6-7 years
2. List of Projects is compiled
3. Planning Commission reviews the projects and determines compliance with the Master Plan or other appropriate plan. The Planning Commission may call upon officials to explain project as needed
4. **WE ARE HERE** – Planning Commission hold Public Hearing on draft CIP
5. **WE ARE HERE** – Planning Commission makes recommendation to the Township Board
6. Township Board reviews and adopts. Township Board may make changes as necessary

Attached is the drafted CIP containing a list of projects that have been proposed by Township Department heads and the year that they are anticipated to be completed. The modifications to this draft plan since it came before the Commission for introduction include: 1) updating the date of the public hearing to November 13, 2024, 2) including the contributing fund for a couple of projects, 3) providing additional information for the 'fiberglass pump boxes' on p.8.

At this time, the Planning Commission should hold the public hearing as scheduled and after any deliberations, make a recommendation to the Township Board on the plan.

IF you approve of the draft plan, please use recommended motion:

**Motion to recommend the Elmwood Township Board adopt the Charter Township of Elmwood Capital Improvement Plan 2025-2031.**





Planning/Zoning Department  
planner@elmwoodmi.gov

**Elmwood Charter Township**  
10090 E. Lincoln Rd.  
Traverse City, MI 49684

Contact Information  
PH: (231) 946-0921  
Fax: (231) 946-0320

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## **NOTICE OF PUBLIC HEARING ELMWOOD CHARTER TOWNSHIP PLANNING COMMISSION**

The following Public Hearing is scheduled for Wednesday, November 13, 2024, at 6:30 p.m. before the Elmwood Charter Township Planning Commission to consider the Elmwood Township Capital Improvement Plan.

A complete copy of the Capital Improvement Plan is available at the Township Hall or online at [www.elmwoodmi.gov](http://www.elmwoodmi.gov). Regular Township business hours are Monday thru Friday, 9 am to 5 pm.

The public hearing will be held at the Elmwood Township Hall, 10090 E. Lincoln Road, Traverse City. Individuals can make public comment or submit written comments, in person, at the public hearing. Written comments may be submitted prior to the public hearing by mailing them to: Planning and Zoning Department, 10090 E. Lincoln Rd, Traverse City, MI 49684 or [planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov).

Written comments submitted prior to the public hearing on the plan will be received until 5:00 pm, November 13, 2024.

Individuals planning to attend who require reasonable auxiliary aids should contact Connie Preston, Township Clerk at (231) 946-0921.

Posted: 10-23-24  
4:00 pm  
Elmwood Township Hall  
Connie Preston, Clerk

### Drain Commission Public Notice

#### ORDER FOR LAYING OUT AND DESIGNATING A DRAINAGE DISTRICT

Whereas, an application in writing, dated the 17th day of September, 2024, has been made and filed with me, the County Drain Commissioner for the Leelanau County, Michigan, praying for the Laying Out and Designating of a Drainage District, with references to a certain Drain, proposed to be named as follows: Little Glen Lake Drain;

And Whereas, the application was signed by 12 freeholders, 5 or more of whom will be liable for an assessment on the Drain;

And Whereas, as a means of determining the amount of tax or special assessments remaining unpaid on the tax rolls for the year preceding this order, I did obtain a statement from the County Treasurer, and from that statement I find taxes and special assessments remaining unpaid to be 0% percent.

And Whereas, as a further means of determining the practicability of the proposed drain, I did cause a survey to be made by a State of Michigan Licensed Professional Engineer, Brian J. Cenci, P.E. #58347 of C&J Consultants of Michigan, P.C., who's address is 401 S. Washington Square, Suite #103, Lansing, MI 48933.

Now, Therefore, I do hereby determine that the application for Laying Out and Designating a Drainage District for the drain should be granted, and I do hereby determine from the survey that the drain is practicable, in accordance with the survey, which is more particularly specified below.

I do further determine that the name or number of the Drain shall be the "Little Glen Lake Drain", by which name or number it shall hereafter be known and recorded.

It is further ordered and determined that the commencement, route and terminus of the drain and where applicable the width, length and depth thereof shall be in accordance with the survey, as follows:

PART OF SECTION 14 OF EMPIRE TOWNSHIP, TOWN 28 NORTH, RANGE 14 WEST, LEELANAU COUNTY, MORE PARTICULARLY DESCRIBED AS:

ROUTE & COURSE DESCRIPTION - MAIN DRAIN

COMMENCING AT THE NORTHEAST CORNER OF SECTION 4, TOWN 28 NORTH, RANGE 14 WEST, EMPIRE TOWNSHIP, LEELANAU COUNTY, MICHIGAN,

THESE WESTERLY ALONG THE SHORE OF GLEN LAKE 1,024 FEET, MORE OR LESS, TO A POINT ON THE NORTH LINE OF PARCEL NO. 005-004-027-00, SAID POINT IS 37 FEET FROM THE NORTHEAST CORNER OF PARCEL NO. 005-004-027-00 AND SAID POINT IS THE POINT OF BEGINNING OF THE LITTLE GLEN LAKE DRAIN; THENCE SOUTH 79 FEET TO A POINT 24 FEET SOUTH OF THE CENTERLINE OF M-22/GLENMERE ROAD AND SAID POINT ALSO BEING CONFLUENCE POINT 'A'; THENCE WESTERLY 835 FEET AND PARALLEL TO M-22/GLENMERE ROAD, TO A POINT 24 FEET OFFSET FROM M-22/GLENMERE ROAD AND THE POINT OF ENDING OF THE LITTLE GLEN LAKE DRAIN.

ROUTE & COURSE DESCRIPTION, BRANCH DRAIN #1:

AND ALSO, COMMENCING AT CONFLUENCE POINT 'A', EASTERLY 177 FEET & PARALLEL TO M-22/GLENMERE ROAD, TO A POINT 24 FEET OFFSET FROM M-22/GLENMERE ROAD AND THE POINT OF ENDING OF BRANCH #1 OF THE LITTLE GLEN LAKE DRAIN.

MAIN DRAIN ROUTE & COURSE BEING 914 FEET IN LENGTH, MORE OR LESS

BRANCH NO. 1 ROUTE & COURSE BEING 177 FEET IN LENGTH, MORE OR LESS

BASIS OF BEARING: MICHIGAN STATE PLANE COORDINATE SYSTEM

BASIS OF PARCEL REFERENCES AND SECTION CORNERS: LEELANAU COUNTY GIS SYSTEM

THE TOTAL DRAIN ROUTE & COURSE BEING 1,091 FEET (1.091 MILES) IN LENGTH, MORE OR LESS. SAID ROUTE AND COURSE IS ALSO DEPICTED IN THE ATTACHED EXHIBIT 'A'.

It is further ordered and determined that the following lands shall constitute the Drainage District and this Drainage District is depicted on the attached Exhibit 'A' and the lands/properties are generally described as:

PART OF SECTION 4, EMPIRE TOWNSHIP, TOWNSHIP 28 NORTH, RANGE 14 WEST, LEELANAU COUNTY, MICHIGAN. SAID PROPERTIES COMPRISING THE

### PROPOSED DRAINAGE DISTRICT IN EMPIRE TOWNSHIP ARE AS FOLLOWS:

- 005-004-008-00
- 005-004-024-20
- 005-004-028-00
- 005-004-030-00
- 005-004-024-00
- 005-004-025-00
- 005-004-032-00
- 005-004-024-05
- 005-004-028-00
- 005-004-028-20
- 005-004-078-01
- 005-004-024-10
- 005-004-027-00
- 005-004-029-00
- 005-650-900-00

SAID PROPOSED DRAINAGE DISTRICT BOUNDARY IS ALSO MORE SPECIFICALLY DEPICTED IN THE ATTACHED EXHIBIT 'A' AND ON FILE WITH THE LEELANAU COUNTY GEOGRAPHIC INFORMATION SYSTEMS (GIS) DEPARTMENT'S COUNTY BASE MAP. SAID LEGAL DESCRIPTION FOR THE PROPOSED DRAINAGE DISTRICT BOUNDARY IS AS FOLLOWS:

PART OF SECTION 4 OF EMPIRE TOWNSHIP, TOWN 28 NORTH, RANGE 14 WEST, LEELANAU COUNTY, MICHIGAN, MORE PARTICULARLY DESCRIBED AS:

COMMENCING AT THE NORTHEAST CORNER OF SECTION 4, TOWN 28 NORTH, RANGE 14 WEST, EMPIRE TOWNSHIP, LEELANAU COUNTY, MICHIGAN, THENCE SOUTHERLY 159 FEET MORE OR LESS ALONG THE EAST SECTION LINE OF SAID SECTION TO THE CENTERLINE OF M-22/GLENMERE ROAD;

THENCE WESTERLY ALONG SAID CENTERLINE 821 FEET MORE OR LESS TO THE EAST PARCEL LINE OF PARCEL 005-004-028-20 AND THE POINT OF BEGINNING OF THE DRAINAGE DISTRICT BOUNDARY DESCRIPTION;

THENCE SOUTH 8°00'59" EAST 129 FEET; THENCE SOUTH 2°27'58" EAST 109 FEET; THENCE SOUTH 8°05'33" EAST 71 FEET; THENCE SOUTH 506 FEET; THENCE SOUTH 58° 24' 36" WEST 305 FEET; THENCE NORTH 59° 14' 28" WEST 401 FEET; THENCE NORTH 91° 35' 33" WEST 231 FEET; THENCE NORTH 72° 37' 44" WEST 293 FEET; THENCE NORTH 3° 42' 12" EAST 198 FEET; THENCE NORTH 25° 37' 21" WEST 178 FEET MORE OR LESS TO THE CENTERLINE OF M-22/GLENMERE ROAD; THENCE EASTERLY 1,044 FEET MORE OR LESS ALONG THE CENTERLINE OF M-22/GLENMERE ROAD TO THE POINT OF BEGINNING OF THIS DESCRIPTION.

BASIS OF BEARING: MICHIGAN STATE PLANE COORDINATE SYSTEM

BASIS OF PARCEL REFERENCES AND SECTION CORNERS: LEELANAU COUNTY GIS SYSTEM

THE TOTAL PROPOSED DRAINAGE DISTRICT BOUNDARY CONTAINS 47-16 ACRES IN EMPIRE TOWNSHIP.

It is further ordered and determined that the following cities, villages and townships, county roads and state highways are benefited by the proposed drain and therefore may be liable to assessment:

Leelanau County; At-Large Empire Township; At-Large Michigan Department of Transportation; At-Large

Given under my hand, this 24th day of October 2024.

Steve Christensen  
Leelanau County Drain Commissioner

### Suttons Bay Village Public Notice

State Of Michigan  
County Of Leelanau  
Village Of Suttons Bay  
Special Meeting

The Village of Suttons Bay Planning Commission will hold a public hearing at the Village office meeting room located at 420 Front Street, Suttons Bay at their regular commission meeting scheduled for Wednesday, November 13, 2024 at 5:00 P.M. regarding the following text amendments:

Section 5-3 Spatial Requirements  
Table 5-3 to change the minimum stories in the BV District from 1.5 to 1.0 minimum and 2.5 maximum.

Section 9-13 Wireless Communication to add the following section:

B. Applicability. Pursuant to Section 3514 of P.A. 110 of 2006, as amended, wireless communications equipment is a permitted use of property with a zoning permit and is not subject to Special Land Use approval or any other approval if the following requirements are met:

1. The wireless communications equipment will be collocated on an existing wireless communications support structure or in an existing equipment compound.

2. The existing wireless communications support structure or existing equipment compound is in compliance with this ordinance or was officially approved by the Zoning Administrator or Planning

### Commission.

3. The proposed collocation will not do any of the following:

i. Increase the overall height of the wireless communications support structure by more than 20 feet or 10% of its original height, whichever is greater. Increase the width of the wireless communications support structure by more than the minimum necessary to permit collocation.

ii. Increase the area of the existing equipment compound to greater than 2,500 square feet.

iii. The proposed collocation complies with the terms and conditions of any previous final approval of the wireless communications support structure or equipment compound by the Zoning Administrator or Planning Commission.

Wireless communications equipment that meet the requirements of subsection (1a) and (b) but does not meet the requirements of subsection 1(c) is a permitted use of property if it receives special land use approval.

The amendment will also amend all following sections B-J to C-M. Information regarding the request may be examined by contacting the Office of Planning & Zoning at the Village of Suttons Bay, during regular business hours of 8:00 a.m. - 5:00 p.m., Monday through Thursday, and 8:00 a.m. - Noon on Friday, at 231-271-3051. Comments or questions may be sent by email to [suttonsbay@leelanau.org](mailto:suttonsbay@leelanau.org) or to Village of Suttons Bay, PO BOX 395, Suttons Bay, Michigan 49682.

### Leelanau Township Board Meeting

October 14, 2024 - 7:00 p.m.  
Leelanau Township Library  
Munneke Room  
203 E Cedar Street, Leelanau MI 49654

The meeting was called to order by Supervisor Susan Och, Treasurer Shirley Garthe, Clerk Lisa Brookfield, Trustee Clint Mitchell, and Trustee Mariann Kirch. There were 30 guests present. The agenda, September 5, 2024, and September 9, 2024 minutes were approved as amended. The Treasurer's Report was approved. The following board actions were taken:

- Purchase of Spencer Tanker Truck not to exceed \$960,000
- Approval of Leelanau Township Master Plan pending legal review
- Approval of transfer of deed for the Munneke property to the Leelanau Township library
- Approval of payment of \$200,000 toward repair of the Leelanau River Seawall at the Munneke property

Approval of the Township audit for fiscal year ending March 31, 2024

- Approval to seek bids for striping and painting of some village roads
- Approval of sign for Township Office and reimbursement to Mariann Kirch \$496.61
- Designate Deputy Clerk as event coordinator for the Township
- Public Hearing set to review cost of the Sunset Shores community sanitary sewer project, November 11, 2024, 6:30 PM

- Award bid to Elemen's for phase two of the sidewalk project \$146,874.69
- Bills & accounts were approved for payment.

Board comment and public comment were heard. Meeting adjourned at 8:54 P.M. Minutes are on file at the Leelanau Township Office, 489 W Main Street, Lake Leelanau, and on the township web site at [www.leelanau.org/lelandtwp.asp](http://www.leelanau.org/lelandtwp.asp).

Lisa Brookfield, Leelanau Township Clerk

### Leelanau Township Public Notice

Township of Leelanau,  
County of Leelanau  
Notice of Public Hearing  
Updated Cost Information  
Sunset Shores Special  
Assessment District

The Leelanau Township board will conduct a public hearing for the purpose of updating the estimated costs for the Special Assessment Community Sewer at Sunset Shores. The hearing will be held on Monday, November 11, 2024, 6:30 p.m. in the Leelanau Township Library - Munneke Room, 203 E Cedar Street, Leelanau, MI 49654. All interested citizens will have an opportunity to give oral or written comments.

This hearing will be held in conjunction with the Board's regular monthly meeting which will begin after the public hearing.

Further notice is hereby given that a copy of the proposed special assessment district is available at the Leelanau Township office.

Persons with disabilities needing accommodations for effective participation in this meeting should contact the Township Clerk at (231) 256-7546 ext.

201 or via email at [Clerk@lelandtwp.com](mailto:Clerk@lelandtwp.com) at least two working days in advance of the meeting. An attempt will be made to make reasonable accommodations.

Posted: October 17, 2024. Published: October 24 and October 31, 2024  
Lisa Brookfield  
Leelanau Township Clerk

### Solon Township Notice to the Public

Notice is hereby given that a Public Accuracy Test for the November 5, 2024 General Election will be conducted by the Solon Township Election Commission on Monday October 28, 2024 at 6:00 P.M. at the Solon Township Hall, 9191 S. Kasson St. Cedar, MI 49621.

The Public Accuracy Test is conducted to demonstrate that the program and computer that will be used to tabulate the results of the election counts the votes in the manner prescribed by law.

Shirley I. Mikowski  
Solon Township Clerk  
231-228-7578

### Centerville Township Public Notice

Regular Board Meeting  
Synopsis for October 9, 2024  
Present: Full board and 17 guests.

Approved: agenda with 2 changes, minutes of the Sept. 11 meeting, the Treasurer's report, and payment of vouchers. Public comments were heard.

Reports were heard from the Clerk, Treasurer, Supervisor, Planning Commission liaison, CAFR board representative, and County Commissioner. The PC representative said the PC would like to review and update the township Master Plan. A motion was made by Hubbell to authorize the PC to work on the Master Plan. Motion carried.

Discussion was had and public comments were heard regarding the new proposed Zoning Ordinance. Mosher noted comments received from the legal review by the township attorney. Proposed changes were voted on then Mosher moved to adopt the ZO as amended. Motion carried.

Meeting adjourned at 9:19 PM. A complete copy of the minutes may be viewed at the township website or the township office.

Beth Chiles, Township Clerk

### Elmwood Township Planning Commission Notice of Public Hearing

The following Public Hearing is scheduled for Wednesday, November 19, 2024, at 6:30 p.m. before the Elmwood Charter Township Planning Commission to consider the Elmwood Township Capital Improvement Plan.

A complete copy of the Capital Improvement Plan is available at the Township Hall or online at [www.elmwoodmi.gov](http://www.elmwoodmi.gov). Regular Township business hours are Monday thru Friday, 9 am to 5 p.m.

The public hearing will be held at the Elmwood Township Hall, 10090 E. Lincoln Road, Traverse City. Individuals can make public comment or submit written comments, in person, at the

public hearing. Written comments may be submitted prior to the public hearing by mailing them to: Planning and Zoning Department, 10090 E. Lincoln Rd, Traverse City, MI 49684 or [planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov).

Written comments submitted prior to the public hearing on the plan will be received until 5:00 p.m., November 13, 2024.

Individuals planning to attend who require reasonable auxiliary aids should contact Connie Preston, Township Clerk at (231) 948-0921.

### Leelanau Township Zoning Board of Appeals Notice to the Public Public Hearing

Wed, October 30, 2024 - 5:00 p.m.  
Leelanau Township  
Administration Office  
839 W. Phillip Street,  
Leelanau, MI 49653

In accordance with the requirements of the Michigan Planning Enabling Act, Public Act 33 of 2008, and related amendments, this is notice that the Leelanau Township Zoning Board of Appeals would like to invite your participation, cooperation, and comment with regard to an appeal request from both Richard Meese for a setback variance request to improve two buildings, and a setback variance request from Dave and Michelle Dutch to expand a structure and increase allowable lot coverage.

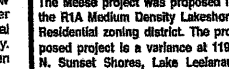
The Dutch project was proposed in the R1A Medium Density Lakeshore Residential zoning district. The proposed project is a variance at 4225 N Lake Leelanau Dr, Lake Leelanau, 49653; property tax number: 009-014-036-00. The proposed use is an improvement to an existing building that were built over 55 years ago but require a setback variance.

The Meese project was proposed in the R1A Medium Density Lakeshore Residential zoning district. The proposed project is a variance at 1198 N. Sunset Shores, Lake Leelanau, 49653; property tax number: 009-125-028-00. The proposed use is an improvement to an existing building and an expansion of lot coverage over the allowed amount.

To review the applications and other visual aids in advance of the Public Hearing, please visit the Leelanau Township website at [www.leelanau.gov/lelandtwpzba.asp](http://www.leelanau.gov/lelandtwpzba.asp). The visual aids can be found under the "Handouts" tab for the October 30, 2024 Public Hearing.

To submit comments before the hearing, write or call the Leelanau Township Zoning Administrator, P.O. Box 226, Lake Leelanau, MI 49653; or email [tim@lelandtwp.com](mailto:tim@lelandtwp.com); or call (231) 360-2657.

Timothy A. Cypher, Leelanau Township Zoning Administrator



**LVR**  
LEELANAU VACATION REALTY  
(231) 218-2714 • 6546 S. State St. Glen Arbor, MI 49636  
[www.lvrrealtty.com](http://www.lvrrealtty.com)

Your #1 Leader in  
Glen Arbor & Leelanau  
County Real Estate

1042 W. Harbor Highway  
Steps to Lake Michigan Historic Farmstead and Home  
\$599,900

619 Frankfort Avenue  
Commercial Space on M22 in Ellberta  
Vacation Rental Potential  
\$245,000

3636 W. Empire Hwy - Unit 20  
Pole Barn - Empire  
Fully insulated  
\$92,000

**Ranae Ihme**  
Broker  
[ranae@lvrrealtty.com](mailto:ranae@lvrrealtty.com) • [www.lvrrealtty.com](http://www.lvrrealtty.com)

# Charter Township Of Elmwood

## Capital Improvement Plan 2025-2031

DRAFT

Public Hearing: November 13, 2024

Adopted by Township Board: TBD

The Michigan Planning Enabling Act, Public Act 33 of 2008, requires that any township that owns or operates a water supply or sewage disposal system, prepare and update a capital improvement program each year. Even when not required, it is good practice for townships to have a capital improvement program to help foresee upcoming projects and assist in budgeting. This is an update to the Capital Improvement Plan that the township undertook in an effort to comply with the requirements of the Michigan Planning Enabling Act.

This plan is a working document. It is required to be reviewed every year and updated to add the next year to make it a 6 year plan. Projects that are included in the plan are not guaranteed to be completed or to receive financial allocation by the Township Board but more of a guide during the budgeting process to help see a more complete view of upcoming major projects. The Planning Commission does not endorse the projects or figures supplied. They are only approving a document that puts all the projects in one location for easy reference.

The Capital Improvement Plan contains projects/construction/equipment with a purchase price greater than \$10,000 that last for longer than a year. These items include purchase of property and vehicles, new buildings/structures, constructions of utilities and roads, and dredging as examples. This also included major repairs to existing structures, properties, and vehicles such as roofs and parking lots. Minor maintenance and projects that are estimated to cost less than \$10,000 were not included. Plans and studies are also not included in this Capital Improvement Plan.

Department heads were asked about projects that they anticipate will need to be completed in the next 6 years as well as projects that will need to be done in future years so that they are not forgotten when the plan is updated in future years. Those forms led to this document that includes future projects, anticipated dates of completion, and estimated costs. Also included in this document is a list of existing facilities, where they are located, when they were constructed and any other helpful information. This ensures that when updating the plan in the future, certain properties and buildings are not looked over.

Upon completion of the draft, the Planning Commission held a public hearing on 11/13/2024 to obtain additional public comment. Following the public hearing the Planning Commission made a recommendation on the plan and forwarded the completed plan to the Township Board for review and adoption.

## **Existing Facilities**

### **Lincoln Road Campus**

#### *Township Hall*

Located at 10090 E Lincoln Rd, the Township Hall was constructed in 1986. Contains offices and hall for meetings and available for rent.

#### *Fire Hall*

Located next to the Township Hall but not connected, was constructed in 2002. Contains offices, kitchen, meeting room, and apparatus bay.

#### *Upper Pavilion*

Located near the Township Hall and shares parking with the Hall. Picnic pavilions that contains restrooms. Available to rent to the public.

#### *Lower Pavilion*

Located near the corner of Cherry Bend and Avondale. Contains restrooms.

#### *Soccer Fields*

Located behind the Township Hall. Turf was re-done in 2015 and contains an irrigation system. Currently there is a contract with North Star Soccer to maintain and schedule the soccer fields.

#### *Baseball Fields*

Located near Cherry Bend Rd. Maintained by the Township and used by Little League. Available to the public for use when not in use by Little League.

#### *Playground*

Located near the corner of Cherry Bend and Avondale. Playground equipment has been installed throughout time.

#### *Tennis Court*

Located next to Avondale Ln. Surface sealed in Spring of 2016.

### **Cherry Bend Campus**

#### *Old Fire Hall*

Located at 10750 E Cherry Bend Rd. Constructed in 1945. Contain garage bay and meeting room. Currently used for storage, elections, and maintenance equipment. Parking area contains recycling bins for use by County residents. Parking area constructed in 2014.

### **Greilickville Campus**

#### *Harbormaster Building*

Located at the Marina, the harbormaster building was constructed in 2020 and contains the public office and bathrooms for the marina. Also includes storage garage for marina equipment. Old harbormaster building still exists on site and is anticipated to be removed during phase 3 of the marina redevelopment.

*Old Marina Public Bathroom*

Located next to the harbormaster building and scheduled for demolition during phase 3 of the marina redevelopment. This building is obsolete with the construction of the new harbormaster building.

*Picnic Pavilion*

Located next to the old marina public bathroom. Contains tables and grills. The roof for this structure was from an old pavilion at the Greilickville Harbor Park. This structure is scheduled to be replaced during phase 3 construction of the marina redevelopment.

*Boater's Bathroom*

Located next to the old marina public bathroom and for use by marina users. Includes showers and restrooms for men and women. This building is scheduled to be demolished and replaced during phase 3 of the marina redevelopment.

*Large Pavilion*

The large pavilion is located in the Greilickville Harbor Park, near the parking lot. It contains restrooms and a picnic pavilion. The pavilion is available to rent.

*Small Pavilion*

The small pavilion is located in the Greilickville Harbor Park. It contains restrooms and a picnic pavilion. This pavilion is available on a first come, first serve basis.

**Brewery Creek**

Brewery Creek is a condo development on M22 across from the Greilickville Harbor Park and Marina that the Township purchased in 2012. A majority of the property has been used for overflow marina and park parking. The Township worked with the owners to dissolve the condominium and is currently working on developing overflow marina trailer parking.

**Greilickville Water**

The Greilickville water system runs along M22 from the City/Township line North to Cherry Bend Road. The water system also runs down Carter Rd and Grandview Rd to the TART trail.

**Timberlee Water**

The Timberlee water system started as a private system in the 1970s and was turned over to the Township in 1989.

**Greilickville Sewer**

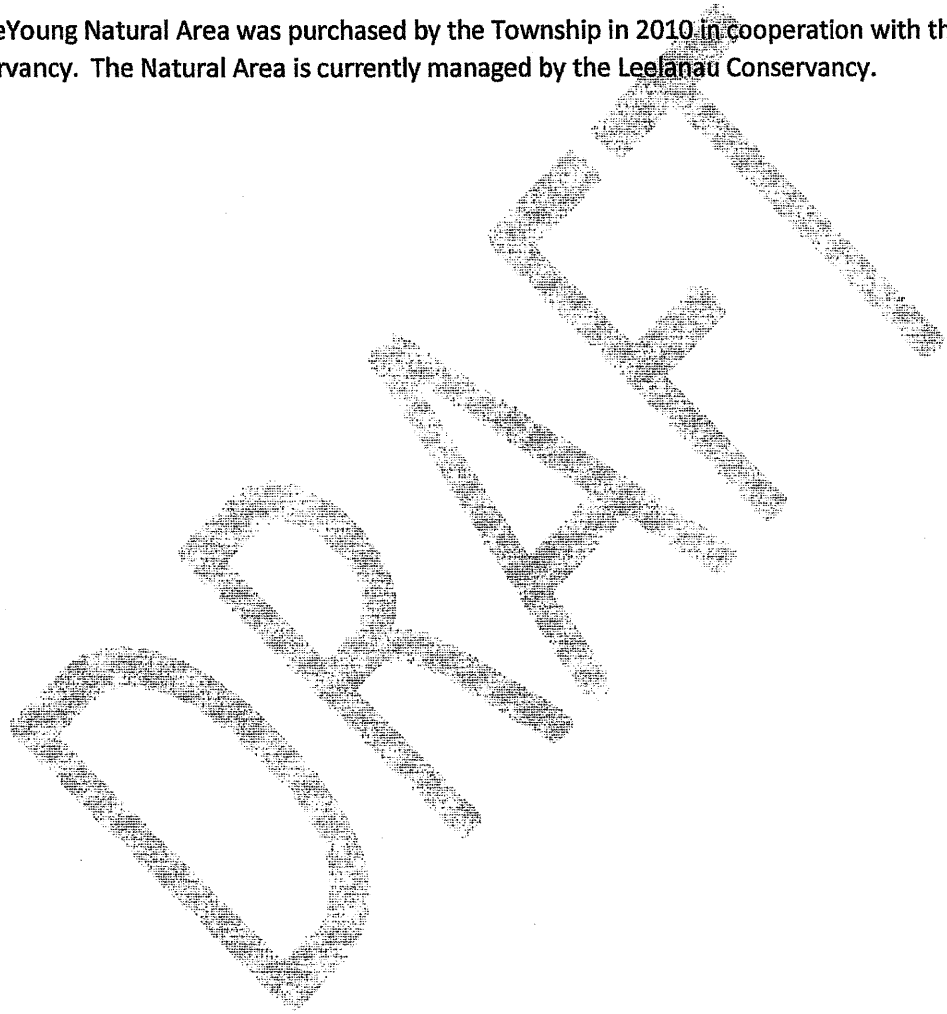
The Greilickville sewer system is located along M22 from the City/Township line running North to Crain Hill Rd. It also includes some subdivisions off of M22. The sewer system runs West down Carter Rd, Grandview Rd, and Cherry Bend Rd.

**Cedar Lake Dam**

The Cedar Lake Dam is located between Cedar Lake and West Grand Traverse Bay. The dam is owned by the Township and controls the depth of Cedar Lake.

**DeYoung Natural Area**

The DeYoung Natural Area was purchased by the Township in 2010 in cooperation with the Leelanau Conservancy. The Natural Area is currently managed by the Leelanau Conservancy.



**FUTURE PROJECTS**

**Anticipated to be completed in 2025**

<b>Project Name &amp; Description</b>	<b>Estimated Cost</b>	<b>Contributing Fund</b>	<b>In Approved Plan</b>	<b>Status</b>
<u>Marina Phase 3</u> . Phase 3a: Removal of 3 existing buildings, vertical extension of existing seawall, additional seawall construction. Phase 3b: Boater's Bath Facility. Phase 3c: parking, landscaping, and amenities (street features, patios).	\$4,000,000- \$5,000,000	Marina / Waterways Grants	Marina Master Plan and Parks and Recreation Plan	Grant funds awarded through Waterways. Project currently underway and expected to be completed Spring/Summer 2025.
<u>Timberlee Water Tank Replacement</u> . EGLE has flagged existing infrastructure and improvements are needed. On 10/9/23, the Township Board voted to move forward with pursuing improvements involving replacing the existing hydropneumatics tanks with 2 small new hydropneumatics tanks.	\$787,000	Bond / Special Assessment		This was estimated to be completed in 2024; the Township is currently waiting on the tanks.
<u>Marina Storage Garage</u> . Removal of existing storage garage is funded as part of Marina Phase 3, but will need a place to store equipment.	\$50,000-\$80,000	Marina	No	Twp has engaged in conversations with TART on possible cost-share/use opportunities. Also possible to coordinate with Fire Department and Grounds for cost/needs sharing.
<u>Marina Fire Suppression System</u> . Repair, or replacement, as necessary.	\$50,000	Marina	No	
<u>Dinghy Launch</u> . Located at the south end of the Marina.	\$10,000	Marina	No	
<u>Marina WiFi</u> . Upgrade internet infrastructure at the Marina.	\$38,000	Marina	No	
<u>Purchase of new ambulance</u> . Cost includes power lift and power cot which are in hand.	\$450,000	Fire		4/10/23; Board approved purchase in 2023; it has



Elmwood Township CIP 2025-2031

<p>been ordered and estimated delivery is Fall/Winter of 2025.</p>				
<p>Some smaller, new equipment has been purchased; will be installed late 2024 or in spring 2025</p>	<p>Parks and Recreation Plan</p>	<p>Grounds</p>	<p>\$50,000</p>	<p><u>Cherry Bend Playground Improvements.</u> Aging equipment needs to be replaced with safe, accessible play equipment.</p>
<p>Fire Dpt working on a reliable cost estimate to put before Board. Push to 2025</p>		<p>Marina</p>	<p>\$16,500 - \$20,000</p>	<p><u>Marina Security System.</u> Currently insufficient security onsite. As the area becomes more populated, it is necessary to have an appropriate system in place.</p>
<p>Fire Dpt working on a reliable cost estimate to put before Board. Push to 2025</p>		<p>Fire</p>	<p>\$12,000</p>	<p><u>Onsite Fuel Storage Tanks.</u> Existing commercial source for fuel is not as reliable as it should be due to congestion, anticipated construction, and operating hours.</p>
<p>No</p>	<p>No</p>	<p>Fire</p>	<p>\$15,000</p>	<p><u>Fire Station Carpet/Flooring.</u> Replacement all carpet in station. Repair/replace tile flooring.</p>
<p>No</p>	<p>No</p>	<p>Fire</p>	<p>\$12,000</p>	<p><u>Fire Station Entrance – Security.</u> Add interior wall and door to create a secure entrance foyer for public isolating the space from crew quarters.</p>
<p>Quotes have been prepared and presented to the Board. Anticipated purchase in 2025 after further discussion with Board.</p>	<p>Consultant Report</p>	<p>Fire</p>	<p>\$80,000 - \$100,000</p>	<p><u>Fire Department Utility / Chief's Vehicle.</u> Add a pickup/SUV style vehicle to fleet for command and control, supplemental equipment needs, crew transport, and trailer towing (ATV, boat).</p>
<p>Quotes have been prepared and presented to the Board. Anticipated purchase in 2025 after further discussion with Board.</p>		<p>Fire</p>	<p>\$40,000</p>	<p><u>Fire Department UTV.</u> Overdue replacement of underpowered UTV for wildland fire and remote response.</p>

**Anticipated to be completed in 2026**

<b>Project Name &amp; Description</b>	<b>Estimated Cost</b>	<b>Contributing Fund</b>	<b>In Approved Plan</b>	<b>Status</b>
<u>Tanker 1 (121)</u> . Replacement of existing truck that has become obsolete and is older than recommended by NFPA. Included in Fire and EMS Assessment. Vehicle pricing has gone up significantly and long manufacturing times are delaying deliveries.	\$500,000	Fire	Consultant Report	Fire Dpt has attempted AFG grant, which was not funded. Attempting other grant opportunities, but likely will need to fund in-house.
<u>Cherry Bend Sidewalks</u> . Sidewalks from M22 to Cherry Bend Park. Preliminary cost estimates include 3 pricing options. Township has not yet determined which option to move forward with.	\$445,000 - \$2,089,000	TTCI (MPO) / General Fund	Parks and Recreation Plan	Twp is working with Networks Northwest on TAP Grant
<u>Fiberglass Pump Boxes for A, B, &amp; C Docks</u> These boxes hold the compressors for the Bubbler System that is used during the winter.	\$10,000	Marina	No	
<u>Cherry Bend Park Trailhead</u> . Trail connection to Cherry Bend sidewalk from trail along Cherry Bend (also anticipated to be completed in 2026). Improvements to the park would also include additional parking, safety improvements, and pickleball courts	\$800,000	Grants, General Fund	Parks and Recreation Plan	Township has hired consultant to prepare conceptual plan.
<u>Fire Station - Truck Ramp Repair/Replacement</u> . Repair or replace front and rear ramps due to deterioration and subsurface issues.	\$100,000	Fire	No	

**Anticipated to be completed in 2027**

<b>Project Name &amp; Description</b>	<b>Estimated Cost</b>	<b>Contributing Fund</b>	<b>In Approved Plan</b>	<b>Status</b>
<u>A-Dock Replacement</u> . Per Harbormaster, this dock has outlived its expectancy life by a few years. The dock <i>could</i> last another few years, or it could significantly degrade over a bad winter	\$1,250,000 - \$1,500,000	Marina		

Elmwood Township CIP 2025-2031

<u>Electric Pedestal Replacement for 150 slips.</u>	\$200,000 - \$300,000	Marina	No	
<u>Second Cardiac Monitor.</u> Ensure both ambulances have cardiac monitors. Contingent of EFD obtaining ALS status.	\$60,000	Fire	No	
<u>Engine 2 (112).</u> Replacement of existing truck that has become obsolete and is older than recommended by NFPA. Included in Fire and EMS Assessment.	\$500,000	Fire	Consultant Report	

Anticipated to be completed in 2028

<i>Project Name &amp; Description</i>	<i>Estimated Cost</i>	<i>Contributing Fund</i>	<i>In Approved Plan</i>	<i>Status</i>
<u>Fire/Rescue Boat.</u> Add "bay worthy" vessel to fleet for fire suppression on the water and within the marinas. Boat capable of rescue, dive, and search operations.	\$300,000	Fire/General/Marina	No	

Anticipated to be completed in 2029

<i>Project Name &amp; Description</i>	<i>Estimated Cost</i>	<i>Contributing Fund</i>	<i>In Approved Plan</i>	<i>Status</i>

Anticipated to be completed in 2030

<i>Project Name &amp; Description</i>	<i>Estimated Cost</i>	<i>Contributing Fund</i>	<i>In Approved Plan</i>	<i>Status</i>

Anticipated to be completed in 2031

<i>Project Name &amp; Description</i>	<i>Estimated Cost</i>	<i>Contributing Fund</i>	<i>In Approved Plan</i>	<i>Status</i>

Anticipated to be in future plan

<b>Project Name &amp; Description</b>	<b>Estimated Cost</b>	<b>Contributing Fund</b>	<b>In Approved Plan</b>	<b>Status</b>
<u>Fire Station/Quarter Improvements</u> . Add space for additional staffing, offices, and storage.	\$200,000	Fire	Consultant Report	
<u>Timberlee Water Main Extension</u>	\$450,000	Timberlee Water	Reliability Study	
<u>Greilickville Water Main Extension</u>	\$2,800,000	Greilickville Water	Reliability Study	
<u>D-Dock addition</u> . Addition of a new dock to the north of our furthest bottomland, adding 18-30 new seasonal slips.	\$1,400,000	Marina		
<u>Timberlee Ground/Elevated Storage</u>	\$1,800,000	Timberlee Water	Timberlee Reliability System	
<u>Marina Truck</u> .	\$40,000 - \$50,000	Marina	No	
<u>Fish Station Grinder</u> . Disposing of fish remains will likely require installation of a commercial grinder at the Fish Cleaning Station.	\$60,000	Marina	No	
<u>Harbor Signage</u> . Dock numbering, harbor entrance and egress, no-wake.	\$20,000	Marina	No	
<u>Brewery Creek Lighting and Security</u>	\$20,000	Marina	No	
<u>Review of Township Facilities</u> . Examine roofs of all Township buildings. Examine all parking lots and prepare cost estimate of repair/replacement.		General Fund	No	
<u>Ambulance</u> .	\$400,000	Fire		Annually review ambulance and prepare to purchase new one to replace oldest ambulance at a later date.
<u>Additional land acquisition</u> . As needs of the Township and surrounding community grow, the Township should identify parcels that could be acquired for public services.				

To: Elmwood Planning Commission  
From: Sarah Clarren, Planner / Zoning Administrator  
Date: 10/14/24  
RE: SPR 2024-06, TC Whiskey Site Plan Review for 2022 approval.

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Below you will find a staff report, as well as draft findings of fact, for TC Whiskey’s Site Plan Review for uses approved in 2022. Options for motions can be found on the last page.

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**PLANNING COMMISSION**  
**FINDINGS OF FACT, DECISION AND ORDER**  
**SPR 2024-06, TC Whiskey Site Plan Review for 2022 approval**

Owner/Applicant:	TCWC Holding Company, LLC 13975 S Robinson Road Traverse City, MI 49684	Engineer/Surveyor:	GRA, Inc. 123 Front Street Traverse City, MI 49684
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Hearing Date: Not applicable – Site Plan Review

Case Number: SPR 2024-06 (no public hearing required). Request by TCWC Holding Company, LLC regarding property at 9432 S Center Hwy (Parcel 004-008-009-20) for a Distillery Tasting Room, visitor’s center, and offices for TC Whiskey. *Note: this review is for the site plan associated with SPR/SUP 2022-05; the SPR portion of that approval has expired.*

**PROPERTY DESCRIPTION**

Parcel ID #45-004-008-009-20 (known as 9432 S Center Hwy, 31.40 acres) is located within the Agricultural Rural (A-R) zoning district of Section 08 of Elmwood Township. This parcel used to be two parcels (004-008-009-00 and 004-008-010-40, but in accordance with a condition on a prior approval, the parcels were combined. This land combination was approved by Assessor Barbara Jones on 9/14/22.

**APPLICATION**

TC Whiskey requested and obtained Site Plan Review and a Special Use Permit for a Distillery Tasting Room, visitor’s center, and offices for TC Whiskey on Center Hwy in 2022. This may sound familiar as a tasting room has also been previously approved, then said approval expired, and then the applicant reapplied and obtained a new SUP. Recently, they obtained an extension to the SUP portion of their 2022 approval. As there are no more extensions permitted for the SPR portion under the Township’s zoning ordinance, they are seeking a new SPR approval. That said, the plans that are now before the Planning Commission do include changes from what was reviewed and approved in 2022. Modifications that were noted by staff and on 10/28/24, Megan Freenstra Wall indicated that the modifications “...reflect the list we have” include:

- Rear of building
  - Change of dumpster location
  - New silos.
  - Difference in surfacing and utilities
- Area to the southeast of the preexisting building.
  - This is completely different. There are now new gas fire pits proposed, along with a future shade structure. When questioned what purpose does this area serve now (what is its use?), staff was

informed that “This outside area is spill-out space for people waiting for a tour. It's such a beautiful view that a small fire pit area would be a great place to wait. The future shade structure would be needed if it turns out to be too hot for waiting. We understand that a separate building permit would be required for the structure in the future.”

- Additional plantings, including cherry trees in front and trellis to “...align with neighboring vineyard.”
- Front of the preexisting building
  - Located in the middle of the front of the preexisting building there is now a new “3,000 gal Kennedy solutions inc. HDPE storage tanks.” On 10/28/24, Megan Freenstra Wall indicated that “These tanks exist to meet the building code requirements for emergency containment for the distillery if there were a spill inside. They're not connected to anything- will need to be pumped out if that ever did happen.”
  - Grading; a lot more information was provided with this SPR application. When asked if there was a reason behind this, On 10/28/24, Megan Freenstra Wall indicated that “The project has been fully engineered and bid out to subcontractors, so the drawings are quite advanced this time. Rather than pare it back for the submission, we sent the bid drawings.”
  - More information regarding a proposed sign; signs are not permitted by the Planning Commission.
  - Utility line locations have been modified.
  - No changes to parking

### **SECTION 8.3 SITE PLAN REVIEW APPLICATION PROCEDURES**

3. The applicant will forward copies of the site plan to the Leelanau County Road Commission, Leelanau County Drain Commissioner, Health Department, the Elmwood Township Fire Department, Department of Public Works and Michigan Department of Transportation, as applicable, for their review and comments. Any review comments will be forwarded to the Zoning Administrator. Comment letters shall be provided to the Zoning Administrator prior to application being placed on the Planning Commission agenda for consideration. ***Provided; note that no septic or sewer submitted.***

### **SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL**

The following information shall be provided with the site plan as indicated, unless waived by the Zoning Administrator when such information is not applicable. The site plan must be drawn at a scale of one (1) inch equals one hundred feet (1"=100') or less. Required site plan elements shall include:

1. Applicant's name, address, and telephone number. ***Provided (application).***
2. Property owner's name, address, telephone number, and signature. ***Provided (application; Sheet C1.0).***
3. Proof of property ownership, and whether there are any options or liens on the property. ***Provided***
4. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent. ***N/A; applicant is owner***
5. The address and/or parcel number of the property, complete legal description and dimensions of the property, width, length, acreage, and frontage. ***Provided (Sheet C2.0).***
6. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers. ***Not yet provided, typically conditioned***
7. Project title or name of the proposed development. ***“TC Whiskey – Renovations and Additions to Distillery”***

8. Statement of proposed use of land, project completion schedule, and any proposed development phasing. **Provided (Narrative states "TCWC intends to submit documents for a building permit Fall 2024. Construction will begin Winter or Spring 2025 depending on the building permit timing, with completion expected late 2025.")**
9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site. **Provided (Application).**
10. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or open space proposed, and similar information required to evaluate compliance with the Ordinance. **Provided (Narrative states "The total gross area of the office space is 5,041 sf (2989 sf useable/leasable) while the total gross sf of the retail and tasting is 12,824 sf (5,835 sf useable/leasable). 43,647 gross sf will be used for whiskey production. Most of the existing building and the additions to it will be used for the production of whiskey, from grain and produce intake to fermentation, distillation, barreling, and bottling, with an expected staff of 10 to 20. The offices, which are in the addition and the existing building, will include ten private offices, toilet facilities, break area, and conference rooms, with an expected staff of 10 to 14 people. The visitor's center addition will include tasting areas for the beginning or end of tours, bar and lounge seating, tour gathering areas, retail sales, restrooms, storage, and a break room. Tourgoers will check in at a front desk and wait in an open space with an informational exhibit and spirit sales adjacent to lounge and tasting areas. While kitchen facilities will be provided, the tasting/bar area is limited to meet the zoning ordinance for Tasting Rooms. The addition is expected to be staffed by 8-10 people in the busy summer months and as few as two in the low season.")**
11. A vicinity map showing the area and road network surrounding the property. **Provided (Sheet C1.0)**
12. The gross and net acreage of the parcel. **Provided (Sheet C2.0)**
13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels. **Provided (Application / Sheet C2.0).**
14. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations. **Provided (Sheets C1.0, C2.0).**
15. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%. **Provided (various Sheets C2.1, C3.2).**
16. The location and type of existing soils on the site, and any certifications of borings. **Provided (C2.0).**
17. Location and type of significant existing vegetation. **Location provided (C2.0, C2.1).**
18. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes. **Provided (Sheet C2.1; no wetlands/water bodies anywhere near the site per EGLE Wetlands Map Viewer).**
19. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope. **Provided (Various sheets).**
20. Proposed location of all proposed structures, buildings, equipment, and uses. **Provided (Various sheets).**
21. Elevation drawings of typical proposed structures and accessory structures. **Provided (Sheet A1.1, A2.2, A2.3, RMS elevation drawings).**

22. Location of existing public roads, rights-of-way, easements of record, and abutting streets. **Provided (various sheets)**
23. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property. **Provided (Various sheets).**
24. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof. **Location shown on various sheets**
25. Location, size, and characteristics of all loading and unloading areas. **Provided (Various sheets).**
26. Location and design of all sidewalks, walkways, bicycle paths, and area for public use. **Provided (AS1.0)**
27. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable). **Provided (Various including C3.7, C3.8)**
28. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam. **Provided (Various including C3.7, C3.8)**
29. Proposed location, dimensions, and details of common open spaces, and common facilities such as community buildings or swimming pools, if applicable. **N/A**
30. Location, size, and specifications of all signs and advertising features, including cross-sections. **Location shown on Sheet AS1.0, but Planning Commission does not review/approve signs.**
31. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used. **Partially provided, can be conditioned. (Location shown ES.2)**
32. Location and specifications for all fences, walls, and other screening features, with cross sections shown. **Provided (C3.0 (location) and C4.0 (specs))**
33. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate. **Provided (C3.0)**
34. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities. **Provided (C3.0 (location) and C4.0 (specs))**
35. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities. **Provided (various sheets)**
36. Identification of any significant site amenities or unique natural features, and whether they will be preserved. **N/A; no wetlands on subject parcel (EGLE Wetlands Map Viewer); Sheet C2.0 and C2.1**
37. North arrow, scale, and date of original submittal and last revision. **Provided, various sheets.**

## **SECTION 8.5 REVIEW AND APPROVAL (For Site Plan Review)**



**B. Standards for Site Plan Approval.** The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:

1. All required site plan and application information has been provided as specified in this Article.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.1:*

A. The Zoning Administrator has indicated where the required site plan and application information is located, which the Commission has confirmed.

B.

C.

*The Commission finds that Standard 8.5.B.1 has/ has not been met.*

2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval. Further, all applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met or can be made a condition of site plan approval.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.2:*

A. The Commission recognizes that although the Ordinance requires this standard be met, Stormwater Management and well / septic permits are reviewed and approved by outside agencies.

B. The Commission recognizes that multiple agencies will not review or issue permits without the project going before the Township and receiving approval. Therefore, the Commission has typically made the following condition of approvals: The property owner is responsible for obtaining all other applicable permits. This shall be done prior to obtaining a Land Use Permit.

C. The Planning Commission has received a copy of a permit for a non-residential well dated 4/26/2023 (expiry date 4/25/2025) indicating that the applicant sent the plans for review to the Leelanau Health Department.

D. The Planning Commission has received a copy of a permit dated 3/15/2023 indicating that the applicant sent the plans for review to Steve Christensen of the Leelanau Conservation District. This permit indicates that it has been extended from 4/14/24 to 4/16/25.

E. The Planning Commission received a letter dated October 30, 2024 from Keith Tampa, Fire Chief, detailing their review of the project. This letter includes multiple recommendations of conditions in order to ensure support to emergency response as well as hazard mitigation. These recommendations include:

1. Applicant shall comply with IFC standards for clear widths and the maintenance of all fire apparatus access lanes. This includes snow removal and maintenance of fire lanes approved for construction with "grass pavers." *Reference: IFC 503.2.1 & 503.4.*

2. Applicant shall provide address identification visible from the public right-of-way and at other approved locations to facilitate emergency response. Address identification and approved locations will comply, at a minimum, with IFC standards. *Reference: IFC 505.1.*

3. Applicant shall maintain clear access to the existing on-site fire suppression water tank and hydrants *Reference: IFC 507.5.4.*

4. Applicant shall place and maintain signage designating "NO PARKING – FIRE LANE" along the rear (west side) FAAL and near the hydrants to discourage obstruction. Signs shall be conspicuously spaced to discourage parking in these areas. Signage should substantially meet the IFC Appendix D Fire Apparatus Access Roads – Section D103.6: Signs. Any proposed alternatives to the standard shall be approved by the Fire Chief. *Reference: IFC 503.3 & D103.6.*

5. Applicant shall ensure gates installed across fire apparatus access lanes are approved by the fire chief and have an approved means of operation. *Reference: IFC 503.6.*

6. Applicant shall install a key box (Knox Box ®) for fire department access in a location approved by the fire chief. *Reference: IFC 506.1.*

F.

G.

*The Commission finds that Standard 8.5.B.2 has / has not been met.*

3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.3:*

- A. In the Application's Site Plan Review Narrative, it states "Adequate highways, streets, police, schools exist. Project plans include provisions for fire protection, drainage, refuse, water and sewer." It later states "Preliminary comments have been received from the Fire Dept, Road Commission, Drain Commission/Soil Erosion, (1) existing water well, (1) new water well proposed (to be permitted), sanitary sewer is planned to connect to public sewer (to be permitted)"
- B. The Planning Commission incorporates finding "A-E" made under Standard 8.5.B.2.
- C.
- D.

*The Commission finds that Standard 8.5.B.3 has / has not been met.*

4. Compliance with all non- zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.4:*

- A. In the Application, it states "We believe the project plans meet the Ordinance. No private roads are proposed."
- B.
- C.

*The Commission finds that Standard 8.5.B.4 has / has not been met.*

5. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.5:*

- A. In the Application, it states "Yes - see architectural plans."
- B. "Microbreweries/Distilleries regulated by Michigan Liquor Control Commission" are a permitted use within the A-R Zoning District under Site Plan Review.
- C. Distillery Tasting Rooms are a permitted use within the A-R Zoning District with a Special Use Permit.
- D.
- E.

*The Commission finds that Standard 8.5.B.5 has / has not been met.*

6. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.6:*

- A. In the Application, it states "Proposed building additions do not adversely impact adjacent property owners. Plans include landscaping and screening meeting the Township's Ordinances. The property has (4) existing entrances. Entrances are to be reconfigured to better service the proposed use and have been reviewed in detail by the Road Commission. The existing southerly entrance is to be gated for emergency use only."
- B.
- C.

*The Commission finds that Standard 8.5.B.6 has / has not been met.*

7. All buildings and structures are accessible to emergency vehicles.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.7:*

- A. In the Application it states “Yes - reviewed and approved by the Fire Department”
- B. The Planning Commission received a letter dated October 30, 2024 from Keith Tampa, Fire Chief, detailing their review of the project. This letter includes multiple recommendations of conditions in order to ensure support to emergency response as well as hazard mitigation. These recommendations include:
  - a. Applicant shall comply with IFC standards for clear widths and the maintenance of all fire apparatus access lanes. This includes snow removal and maintenance of fire lanes approved for construction with “grass pavers.” *Reference: IFC 503.2.1 & 503.4.*
  - b. Applicant shall provide address identification visible from the public right-of-way and at other approved locations to facilitate emergency response. Address identification and approved locations will comply, at a minimum, with IFC standards. *Reference: IFC 505.1.*
  - c. Applicant shall maintain clear access to the existing on-site fire suppression water tank and hydrants *Reference: IFC 507.5.4.*
  - d. Applicant shall place and maintain signage designating “NO PARKING – FIRE LANE” along the rear (west side) FAAL and near the hydrants to discourage obstruction. Signs shall be conspicuously spaced to discourage parking in these areas. Signage should substantially meet the IFC Appendix D Fire Apparatus Access Roads – Section D103.6: Signs. Any proposed alternatives to the standard shall be approved by the Fire Chief. *Reference: IFC 503.3 & D103.6.*
  - e. Applicant shall ensure gates installed across fire apparatus access lanes are approved by the fire chief and have an approved means of operation. *Reference: IFC 503.6.*
  - f. Applicant shall install a key box (Knox Box ®) for fire department access in a location approved by the fire chief. *Reference: IFC 506.1.*

- C.
- D.

*The Commission finds that Standard 8.5.B.7 has / has not been met.*

8. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.8:*

- A. In the Application’s Site Plan Review Narrative, it states “Yes -vehicle parking and maneuvering has been designed to be safe and meet township requirements.”
- B.
- C.

*The Commission finds that Standard 8.5.B.8 has / has not been met.*

9. The percentage of impervious surface has been limited on the site to the extent practicable.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.9:*

- A. In the Application’s Site Plan Review Narrative, it states “Yes - the amount of impervious surface is similar to existing. A goal of the project is to expand and enhance green spaces.”
- B.
- C.

*The Commission finds that Standard 8.5.B.9 has / has not been met.*

10. Efforts have been made to protect the natural environment to the greatest extent possible.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.10:*

- A. In the Application’s Site Plan Review Narrative, it states “Yes - the intent of the facility is to protect and feature existing vistas for visitors.”
- B. The Commission incorporates findings ‘A’ made under Standard 8.5.B.9.
- C.

D.

*The Commission finds that Standard 8.5.B.10 has / has not been met.*

11. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.11:*

- A. In the Application's Site Plan Review Narrative, it states "Yes - plans include extensive storm water controls which have been reviewed by the County Storm Water Control officer."
- B. The Planning Commission has received a copy of a permit dated 3/15/2023 indicating that the applicant sent the plans for review to Steve Christensen of the Leelanau Conservation District. This permit indicates that it has been extended from 4/14/24 to 4/16/25.
- C. The Commission incorporates findings 'A' made under Standard 8.5.B.9.
- D. The Commission incorporates finding 'A' made under Standard 8.5.B.10.
- E.
- F.

*The Commission finds that Standard 8.5.B.11 has / has not been met.*

12. The proposal furthers the goals and objectives of the Master Plan.

*The Commission makes the following finding(s) concerning this standard, Standard 8.5.B.12:*

- A. In the Application's Site Plan Review Narrative, it states "The project is intended to very significantly upgrade and repurpose an abandoned, deteriorating facility and feature locally grown and produced agricultural products and features locally grown and produced agricultural products and maintain and enhance rural agricultural character of the property.
- B. Within the Master Plan, the parcel falls under the designation of 'Rural Low-Density.' Within the Rural Low-Density portion of the Master Plan does not contain objectives or goals. However, page 23 of the Master Plan indicates multiple objectives including "Accommodate future growth within the Township while maintaining its existing rural/residential character" and "Ensure that new land uses are compatible and in character with existing uses." Page 24 states that one objective regarding Environmental Features and Agricultural Land is to "Encourage the retention of important farmlands, orchards, vineyards, forest lands, open space areas, and woodlands."
- C.
- D.

*The Commission finds that Standard 8.5.B.12 has / has not been met.*

#### RECOMMENDED CONDITIONS OF APPROVAL

- 1) *(from SPR/SUP 2022-05)* Snow storage shall not be located within the clear vision area nor shall it be located within the RoW without County approval.
- 2) *(from SPR/SUP 2022-05)* The distillery is licensed or will be licensed prior to occupancy by the appropriate Federal, State, and Local agencies. Evidence of this must be provided to the Zoning Administrator prior to occupancy.
- 3) *(from SPR/SUP 2022-05)* The distillery must be operated according to generally accepted agricultural management principles and the parcel shall have a minimum of five (5) planted acres of crop that is used for the on-site production of spirits.
- 4) *(from SPR/SUP 2022-05)* Prior to issuance of a Land Use Permit, a performance guarantee, or other such documents deemed sufficient by Counsel to ensure crops will be planted within one year of commencement of construction.

- 5) *(from SPR/SUP 2022-05)* As required by the Ordinance, the maximum size of tasting room shall be 2000 sq ft. The Commission is approving the requested 1,917 sq ft tasting room and said tasting room shall not be expanded without the appropriate approval.
- 6) *(from SPR/SUP 2022-05)* The project shall comply with all requirements of the Zoning Ordinance in effect at the time of approval, including, but not limited to Section 9.8.L.
- 7) *(from SPR/SUP 2022-05)* The property owner is responsible for obtaining all other applicable permits. This shall be done prior to obtaining a Land Use Permit.
- 8) *(from SPR/SUP 2022-05)* The Planning Commission is not approving any signage under this Site Plan Review. Any proposed signage will need to comply with the Zoning Ordinance and the property owner shall obtain a sign permit from the Zoning Administrator.
- 9) *(from SPR/SUP 2022-05)* In accordance with Section 6.5.4 of the Zoning Ordinance, All non-residential outdoor lighting fixtures, including display lighting, shall be turned off after close-of-business unless needed for safety or security, in which case the lighting shall be reduced to the minimum level necessary or an infrared sensor security fixture is used. Lighting for a parking area shall be installed so that the light is directed into the parking area only. Parking lot lights shall be extinguished after working hours or shall be placed on an infrared sensor. Further, Any installed parking lot lighting shall comply with the following requirements: 1. All pole-mounted lighting of parking or display areas shall be fully shielded, and in no case shall the light be permitted to extend above the horizontal plane of ninety (90) degrees. 2. Pole mounting height for any outdoor lighting shall not exceed twenty- five (25) feet.
- 10) *(from SPR/SUP 2022-05)* Landscaping shall be maintained in a healthy, growing condition. Diseased or dead materials shall be replaced within the current or next planting season.
- 11) *(from SPR/SUP 2022-05)* Once the project has been completed, the property owner or their representative shall submit As-Built plans in accordance with Section 8.6 of the Zoning Ordinance.
- 12) *(from SPR/SUP 2022-05)* Southern most entrance must be maintained in the winter for emergency access.
- 13) *(from SPR/SUP 2022-05)* A fire suppression easement be granted to the Fire Department, in accordance with Counsel.
- 14) Recommendations proposed by the Fire Chief in his 10/30/2024 letter will be made a condition of approval. These recommendations include:
  - a. Applicant shall comply with IFC standards for clear widths and the maintenance of all fire apparatus access lanes. This includes snow removal and maintenance of fire lanes approved for construction with “grass pavers.” *Reference: IFC 503.2.1 & 503.4.*
  - b. Applicant shall provide address identification visible from the public right-of-way and at other approved locations to facilitate emergency response. Address identification and approved locations will comply, at a minimum, with IFC standards. *Reference: IFC 505.1.*
  - c. Applicant shall maintain clear access to the existing on-site fire suppression water tank and hydrants *Reference: IFC 507.5.4.*
  - d. Applicant shall place and maintain signage designating “NO PARKING – FIRE LANE” along the rear (west side) FAAL and near the hydrants to discourage obstruction. Signs shall be conspicuously spaced to discourage parking in these areas. Signage should substantially meet the

IFC Appendix D Fire Apparatus Access Roads – Section D103.6: Signs. Any proposed alternatives to the standard shall be approved by the Fire Chief. *Reference: IFC 503.3 & D103.6.*

- e. Applicant shall ensure gates installed across fire apparatus access lanes are approved by the fire chief and have an approved means of operation. *Reference: IFC 503.6.*
- f. Applicant shall install a key box (Knox Box ®) for fire department access in a location approved by the fire chief. *Reference: IFC 506.1.*

15) Prior to issuance of a Land Use Permit, a signed set of plans shall be provided to staff.

Findings of Fact

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, to adopt the findings of fact, as modified.

Decision

Option 1

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, that based on the findings of act previously adopted, SPR 2024-06 TC Whiskey is hereby APPROVED subject to the discussed and approved conditions.

Option 2

Motion by \_\_\_\_\_, seconded by \_\_\_\_\_, that based on the findings of act previously adopted, 2024-06 TC Whiskey is hereby DENIED.

OR

**Should the Planning Commission require additional information in order to render a decision:**

Motion to adjourn deliberations on 2024-06 TC Whiskey until [insert date, time, and location] in order to receive the following:

[insert requested items]

09.20.24

Ms. Sarah Clarren  
Planner and Zoning Administrator  
Elmwood Township  
10090 E Lincoln Rd  
Traverse City, MI 49684

**Re: Traverse City Whiskey Company – Renovations and Additions to Distillery  
9440 S. Center Highway  
Traverse City, Michigan 49684**

Dear Ms. Clarren,

Thank you for your review of the proposed renovations and additions to Traverse City Whiskey Company (TCWC). TCWC is seeking Site Plan Approval<sup>1</sup> for renovations and additions to their building at 9440 South Center Highway. TCWC intends to submit documents for a building permit Fall 2024. Construction will begin Winter or Spring 2025 depending on the building permit timing, with completion expected late 2025.

The TCWC site is zoned A-R, in which a Distillery is allowed. The existing distillery building will be renovated to accommodate the distilling process, along with an addition for loading docks, a tasting room (Special Use Permit 2022-06), office space, retail storage, tour gathering areas and restrooms. As seen in the attached drawings, the addition will provide an attractive public front to an otherwise agricultural commercial building, a former cherry processing facility. The total gross area of the office space is 5,041 sf (2989 sf useable/leasable) while the total gross sf of the retail and tasting is 12,824 sf (5,835 sf useable/leasable). 43,647 gross sf will be used for whiskey production.

Most of the existing building and the additions to it will be used for the production of whiskey, from grain and produce intake to fermentation, distillation, barreling, and bottling, with an expected staff of 10 to 20. The offices, which are in the addition and the existing building, will include ten private offices, toilet facilities, break area, and conference rooms, with an expected staff of 10 to 14 people. The visitor's center addition will include tasting areas for the beginning or end of tours, bar and lounge seating, tour gathering areas, retail sales, restrooms, storage, and a break room. Tour-goers will check in at a front desk and wait in an open space with an informational exhibit and spirit sales adjacent to lounge and tasting areas. While kitchen facilities will be provided, the tasting/bar area is limited to meet the zoning ordinance for Tasting Rooms. The addition is expected to be staffed by 8-10 people in the busy summer months and as few as two in the low season. The tasting room and lounge will open to an outdoor covered patio and connect to the outdoor plaza. The remainder of the site is also part of the whiskey experience, with crops grown used in spirit production, a warehouse for barrel storage, fire protection system infrastructure such as a pump house and tank, and trails and gathering areas taking advantage of the attractive hills and ravines of the site. Effort has been made to retain the peaceful, agricultural

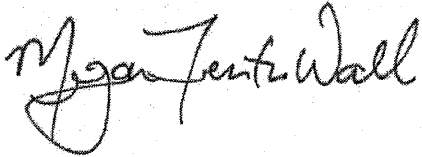
---

<sup>1</sup> TCWC does not believe that Site Plan Approval is required as construction on its existing, approved Site Plan has commenced and proceeded meaningfully per Section 8.6.E of the Elmwood Township Zoning Ordinance. TCWC submits this application only out of an abundance of caution as the result of recent statements made by Elmwood Township that such action has not occurred and does so without prejudice to and with full reservation of its rights and/or remedies with respect to its position.

appearance of the landscape.

On behalf of Traverse City Whiskey Company and our design team, thank you for your time and consideration. We seek to be a valuable and responsible asset to the area, and we're excited to continue to work with the Township on this project.

Sincerely,  
MATHISON | MATHISON ARCHITECTS

A handwritten signature in black ink that reads "Megan Feenstra Wall". The signature is written in a cursive, flowing style.

Megan Feenstra Wall  
Principal





## CHARTER TOWNSHIP OF ELMWOOD

### Planning and Zoning

10090 E. Lincoln Rd, Traverse City, MI 49684

(231) 946-0921 Fax (231) 946-9320

Email: [planner@elmwoodtownship.net](mailto:planner@elmwoodtownship.net)

#### Site Plan Review

#### Application

Applications will not be accepted unless containing all the following information:

- 1) Completed application form with owner's signature
- 2) A site plan with all required information
- 3) Escrow Policy with escrow amount as determined by Planner (any and all unused escrow funds will be returned per the escrow agreement)
- 4) Payment of an application fee (\$775)

Applications are to be submitted 30 days prior to the Planning Commission meeting. Regular meetings are the 3<sup>rd</sup> Tuesday of each month.

**Charter Township of Elmwood  
Application for Site Plan Review**

**Applicant**

TCWC Holding Company, LLC

Name \_\_\_\_\_

13975 S. Robinson Rd.

Street Address  
Traverse City MI 49684

City State Zip

231-922-8292

Phone Number  
cf@tcwhiskey.com

Email Address \_\_\_\_\_

**Engineer**

GFA, Inc. - Mark Maguire, P.E.

Name \_\_\_\_\_

123 W. Front St.

Street Address  
Traverse City MI 49684

City State Zip

231-946-5874

Phone Number  
davel@gfa.tc

Email Address \_\_\_\_\_

**Owner (if different)**

Name \_\_\_\_\_

Street Address \_\_\_\_\_

City State Zip

Phone Number \_\_\_\_\_

Email Address \_\_\_\_\_

**Surveyor**

GFA, Inc. - Chris Lester, P.S.

Name \_\_\_\_\_

123 W. Front St.

Street Address  
Traverse City MI 49684

City State Zip

231-946-5874

Phone Number  
chrisl@gfa.tc

Email Address \_\_\_\_\_

**Contact Person (All communications from the Township will be sent to this individual regarding the submitted application)**     Applicant     Owner     Engineer     Surveyor

**Property Information:**

Property Address: 9432 S. Center Hwy., Traverse City, MI 49684

Parcel Number: 45-004-008 - 009 - 20    Current Master Plan Designation \_\_\_\_\_

Zoning District: A-R    Current Use of Property: former fruit processing plant/agricultural

Adjacent Property Zoning AND Use(s):    North: A-R/agricultural

East: A-R/residential  
South: A-R/agricultural  
West: A-R/agricultural

Other Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**As required by Section 8.5 of the Zoning Ordinance,** all applications for site plan approval shall be reviewed against the standards and requirements of this Ordinance. Only when satisfied that the application meets all standards and requirements shall the Planning Commission approve, or approve with conditions, an application for site plan approval to ensure the health, safety, and welfare of the residents of Elmwood Township.

The Planning Commission must make a finding that specific standards are met prior to approving a site plan. To aid their determination, please detail (with additional pages as necessary) how the proposed project meets the following standards:

<u>Site Plan Review Standard</u>	<u>Applicant Review</u>	<u>Office Use Only</u>
1. All required site plan and application information has been provided as specified in this Article.	<b>Yes</b>	
2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval.		
3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured.	Adequate highways, streets, police, schools exist. Project plans include provisions for fire protection, drainage, refuse, water and sewer.	
4. All applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met.	Preliminary comments have been received from the Fire Dept, Road Commission, Drain Commission/Soil Erosion, (1) existing water well, (1) new water well proposed (to be permitted), sanitary sewer is planned to connect to public sewer (to be permitted)	
5. Compliance with all non-zoning ordinances adopted by the Township, including, but not limited to the private road ordinance.	We believe the project plans meet the Ordinance. No private roads are proposed.	
6. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious,	<b>Yes - see architectural plans</b>	

<p>compatible, and appropriate in appearance with the existing or intended character of the general vicinity.</p>	
<p>7. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood.</p>	<p>Proposed building additions do not adversely impact adjacent property owners. Plans include landscaping and screening meeting the Township's Ordinances. The property has (4) existing entrances. Entrances are to be reconfigured to better service the proposed use and have been reviewed in detail by the Road Commission. The existing southerly entrance is to be gated for emergency use only.</p>
<p>8. All buildings and structures are accessible to emergency vehicles.</p>	<p><b>Yes - reviewed and approved by the Fire Department</b></p>
<p>9. Complete and safe pedestrian, non-motorized and vehicular circulation is provided.</p>	<p>Yes - vehicle parking and maneuvering has been designed to be safe and meet township requirements.</p>
<p>10. The percentage of impervious surface has been limited on the site to the extent practicable.</p>	<p>Yes - the amount of impervious surface is similar to existing. A goal of the project is to expand and enhance green spaces.</p>
<p>11. Efforts have been made to protect the natural environment to the greatest extent possible.</p>	<p>Yes - the intent of the facility is to protect and feature existing vistas for visitors.</p>
<p>12. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location.</p>	<p>Yes - plans include extensive storm water controls which have been reviewed by the County Storm Water Control officer.</p>
<p>13. The proposal furthers the goals and objectives of the Master Plan.</p>	<p>The project is intended to very significantly upgrade and re-purpose an abandoned, deteriorating facility and feature locally grown and produced agricultural products and maintain and enhance rural agricultural character of the property.</p>

**SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL**

The Ordinance requires specific information be included in each application for Site Plan Approval. Please use the following table to ensure that you have included the required information either on your plan (which must be drawn at a scale of one (1) inch equals one hundred feet (1"=100') or less) or included elsewhere in your application. Please use additional pages, as necessary.

<u>Site Plan Review Requirement</u>	<u>Applicant Review</u>	<u>Office Use Only</u>
1. Applicant's name, address, and telephone number.	Provided	
2. Property owner's name, address, telephone number, and signature.	Provided	
3. Proof of property ownership, and whether there are any options or liens on the property.	Provided	
4. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent.	Owner is Applicant	
5. The address and/or parcel number of the property, complete legal description and dimensions of the property, width, length, acreage, and frontage.	Provided in plans	
6. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers.	Provided on Cover sheet of plans	
7. Project title or name of the proposed development.	Provided	
8. Statement of proposed use of land, project completion schedule, and any proposed development phasing.	Provided	
9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site.	Provided	
10. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or	Provided	

open space proposed, and similar information required to evaluate compliance with the Ordinance.	Provided	
11. A vicinity map showing the area and road network surrounding the property.	Provided	
12. The gross and net acreage of the parcel.	Provided	
13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels.	Provided	
14. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations.	Provided	
15. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%.	Provided	
16. The location and type of existing soils on the site, and any certifications of borings.	Provided	
17. Location and type of significant existing vegetation.	Shown in plans	
18. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes.	shown in plans	
19. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope.	Provided	
20. Proposed location of all proposed structures, buildings, equipment, and uses.	provided	
21. Elevation drawings of typical proposed structures and accessory structures.	Provided	
22. Location of existing public roads, rights-of-way, easements of record, and abutting streets.	Shown in plans	
23. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property.	Shown in plans	

<p>24. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carpools, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof.</p>	<p>Parking, curbing, barrier-free access, maneuvering lanes are shown in plans. A lighting plan is provided.</p>	
<p>25. Location, size, and characteristics of all loading and unloading areas.</p>	<p><b>Shown in plans</b></p>	
<p>26. Location and design of all sidewalks, walkways, bicycle paths, and area for public use.</p>	<p><b>Shown in plans</b></p>	
<p>27. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable).</p>	<p>Water wells and supply lines, fire hydrants and fire water tanks, valves, storm sewers and retention, waste water conveyance and treatment systems (to connect to public sewer) are shown in plans.</p>	
<p>28. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam.</p>	<p>Shown in plans</p>	
<p>29. Proposed location, dimensions, and details of common open spaces, and common facilities such as community buildings or swimming pools, if applicable.</p>	<p>Not applicable.</p>	
<p>30. Location, size, and specifications of all signs and advertising features, including cross-sections.</p>	<p><b>Sign details are provided</b></p>	
<p>31. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used.</p>	<p>A lighting Plan is provided</p>	
<p>32. Location and specifications for all fences, walls, and other screening features, with cross sections shown.</p>	<p><b>shown in plans</b></p>	
<p>33. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on</p>	<p>Shown in plans</p>	



<p>site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate.</p>	
<p>34. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities.</p>	<p><b>Shown in plans</b></p>
<p>35. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities.</p>	<p>Shown in plans. Additional description provided.</p>
<p>36. Identification of any significant site amenities or unique natural features, and whether they will be preserved.</p>	<p>Shown in plans. Additional description provided.</p>
<p>37. North arrow, scale, and date of original submittal and last revision.</p>	<p><b>Shown in plans</b></p>



# CHARTER TOWNSHIP OF ELMWOOD

## Planning and Zoning

10090 E. Lincoln Rd, Traverse City, MI 49684

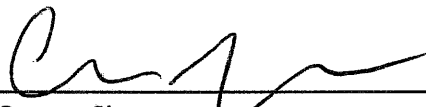
(231) 946-0921 Fax (231) 946-9320

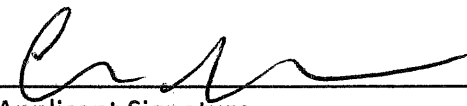
Email: [planner@elmwoodtownship.net](mailto:planner@elmwoodtownship.net)

The applicant will forward copies of the site plan to the Leelanau County Road Commission, Leelanau County Drain Commissioner, Benzie-Leelanau District Health Department, the Elmwood Township Fire Department, Department of Public Works and Michigan Department of Transportation, as applicable, for their review and comments. Any review comments will be forwarded to the Zoning Administrator. Comment letters shall be provided to the Zoning Administrator prior to application being placed on the Planning Commission agenda for consideration.

### Affidavit:

The undersigned affirms that he/she or they is (are) the owner, or authorized agent of the owner, and that the answers and statements herein contained and the information submitted are in all respects true and correct. In addition, the undersigned represents that he/she or they is authorized and does hereby grant a right of entry to Township officials for the purpose of inspecting the premises and uses thereon for the sole purpose of gathering information regarding this request.

	9/20/24
Owner Signature	Date

	9/20/24
Applicant Signature	Date

### OFFICE USE ONLY:

Case Number: \_\_\_\_\_ Fee: \_\_\_\_\_ Paid: \_\_\_\_\_

PC Decision: \_\_\_\_\_ Date: \_\_\_\_\_

## Sarah Clarren

---

**From:** Megan Feenstra Wall <megan@mathisonarchitects.com>  
**Sent:** Monday, October 28, 2024 2:08 PM  
**To:** Sarah Clarren  
**Cc:** Dave Lewis; Chris Fredrickson  
**Subject:** Re: TCWC - Site Plan Review Plan Sets  
**Attachments:** 813 TWC RMS Silo Cut Sheets.pdf

Thanks, Sarah. See below for responses- seemed the easiest way to reply.

Megan

On Thu, Oct 24, 2024 at 11:17 AM Sarah Clarren <[planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov)> wrote:

Megan,

As long as the height is clearly shown on the elevation drawing, a PDF will suffice.

Sarah

**Sarah Clarren** | Planner / Zoning Administrator | Elmwood Township | 231-946-0921 | [www.elmwoodmi.gov](http://www.elmwoodmi.gov) |

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**From:** Megan Feenstra Wall <[megan@mathisonarchitects.com](mailto:megan@mathisonarchitects.com)>  
**Sent:** Wednesday, October 23, 2024 4:44 PM  
**To:** Sarah Clarren <[planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov)>  
**Cc:** Dave Lewis <[davel@gfa.tc](mailto:davel@gfa.tc)>; Chris Fredrickson <[cf@tcwhiskey.com](mailto:cf@tcwhiskey.com)>  
**Subject:** Re: TCWC - Site Plan Review Plan Sets

Thank you for your time on this, Sarah! We will respond shortly.

For the grain silo elevations, can we email elevations to you or do you want those a different way?

Megan

On Wed, Oct 23, 2024 at 1:36 PM Sarah Clarren <[planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov)> wrote:

Chris (and team),

I've completed my review of the Site Plan Review application and plans. Apologies for the timeframe; it is consistent with review of other applications, but I had still hoped it would have taken less time. Changes to the plans from what has been approved were not called out, so I had to complete an entirely new review and have spent quite some time reviewing the different versions of the plans. Thank you for your time, Sarah!

With a few easy supplements, I believe the requirements of 8.4 have been met. What is needed to move forward with the Commission is:

1. Elevation drawings of all proposed accessory structures (see below) need to be provided. See attached. These are grain silos.
2. Sec. 8.3.C.3 Evidence that the plans have been sent to the appropriate agencies (road commission, drain commissioner, health department, fire department) for review and comments. I've already provided the plans to the fire chief. An email will suffice. Will do and we will share the evidence.
3. Clarifications on text within the 9/20/24 letter from Mathison Architects. This letter states "The remainder of the site is also part of the whiskey experience...trails and gathering areas taking advantage of the attractive hills and ravines of the site." What plan is this shown on and what will these 'gathering areas' be used for? I ask as special events are a permitted use within the A-R zoning district, but they are a special use and have specific standards. I also do not recall this from the 2022 approval; I've reviewed the information provided in 2022 and found no information pertaining to this element. Please provide additional information/clarification on this element. Trails and gathering areas are not for special events. They would be, for example, if a tour group of 10-15 people goes around inside the building and decides to walk outside down a trail to get a view up at the warehouse to discuss how whiskey is typically aged. Apologies for the confusion. Would you like us to edit those words out of the letter?

On a related note, can you please confirm if there are any other modifications from the 2022 approval that I am missing. Other than my question on use, I suspect a minor modification to the SUP can be granted for the following:

Modifications that I have found include: This reflects the list we have.

- Rear of building; lots of modifications
  - Change of dumpster location – clearly minor modification Understood

- New silos. These were not included in the 2022 review. I suspect this will be a minor modification, but I will need elevation drawings to ensure Section 8.4.21 is met (Elevation drawings of typical proposed structures and accessory structures.) Understood. It looks like we showed these on the architectural plan only and did not call them out. See above/attached.
  - Difference in surfacing and utilities Understood
- Area to the southeast of the preexisting building.
    - This is completely different. There are now new gas fire pits proposed, along with a future shade structure. What purpose does this area serve now (what is its use)? This outside area is spill-out space for people waiting for a tour. It's such a beautiful view that a small fire pit area would be a great place to wait. The future shade structure would be needed if it turns out to be too hot for waiting. We understand that a separate building permit would be required for the structure in the future.
    - Additional plantings, including cherry trees in front and trellis to "...align with neighboring vineyard." This is great, just wanted to call out the change. Understood
- Front of the preexisting building
    - Located in the middle of the front of the preexisting building there is now a new "3,000 gal Kennedy solutions inc. HDPE storage tanks." I'm assuming this will be a minor modification, but may be part of the Chief's review of the new site plan. Understood. These tanks exist to meet the building code requirements for emergency containment for the distillery if there were a spill inside. They're not connected to anything- will need to be pumped out if that ever did happen.
  - Grading; a lot more information was provided with this application. Is there a reason for this? The project has been fully engineered and bid out to subcontractors, so the drawings are quite advanced this time. Rather than pare it back for the submission, we sent the bid drawings.
  - More information regarding a proposed sign; signs are not permitted by the Planning Commission. Understood
  - Utility line locations have been modified. This is a non-issue for the PC. Understood
  - No changes to parking Understood

Thanks!

Sarah

**Sarah Clarren** | Planner / Zoning Administrator | Elmwood Township | 231-946-0921 | [www.elmwoodmi.gov](http://www.elmwoodmi.gov) |

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## Sarah Clarren

---

**From:** Chris Fredrickson <cf@tcwhiskey.com>  
**Sent:** Monday, October 28, 2024 12:39 PM  
**To:** Sarah Clarren  
**Subject:** Re: TCWC 5 Acres of Crops - Performance Guarantee @ TC3  
**Attachments:** TCWC Planted Rye Aerial.jpg

Sarah, I was able to take an aerial photo to show where our rye was planted. Please see attached.

The farmer completed this work last week.

Please let me know if you have any questions.

Thank you, Chris

On Wed, Oct 23, 2024 at 3:35 PM Sarah Clarren <[planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov)> wrote:

Chris,

That's wonderful! I think it would be most helpful to have the plan delineated on planting areas as the aerial you provided is dated and shows the planting expanded onto adjacent properties. Sheet C2.0 of the plan set had the proposed delineation of plantings as barley. Again, I recommend annotating this plan sheet according to what was done/is planned. Picture(s) would also be a great supplement and we've required it for other planting projects.

When I receive an accurate plan, I'll supplement it to the file for the PC.

Thanks!

Sarah

**Sarah Clarren** | Planner / Zoning Administrator | Elmwood Township | 231-946-0921 | [www.elmwoodmi.gov](http://www.elmwoodmi.gov) |

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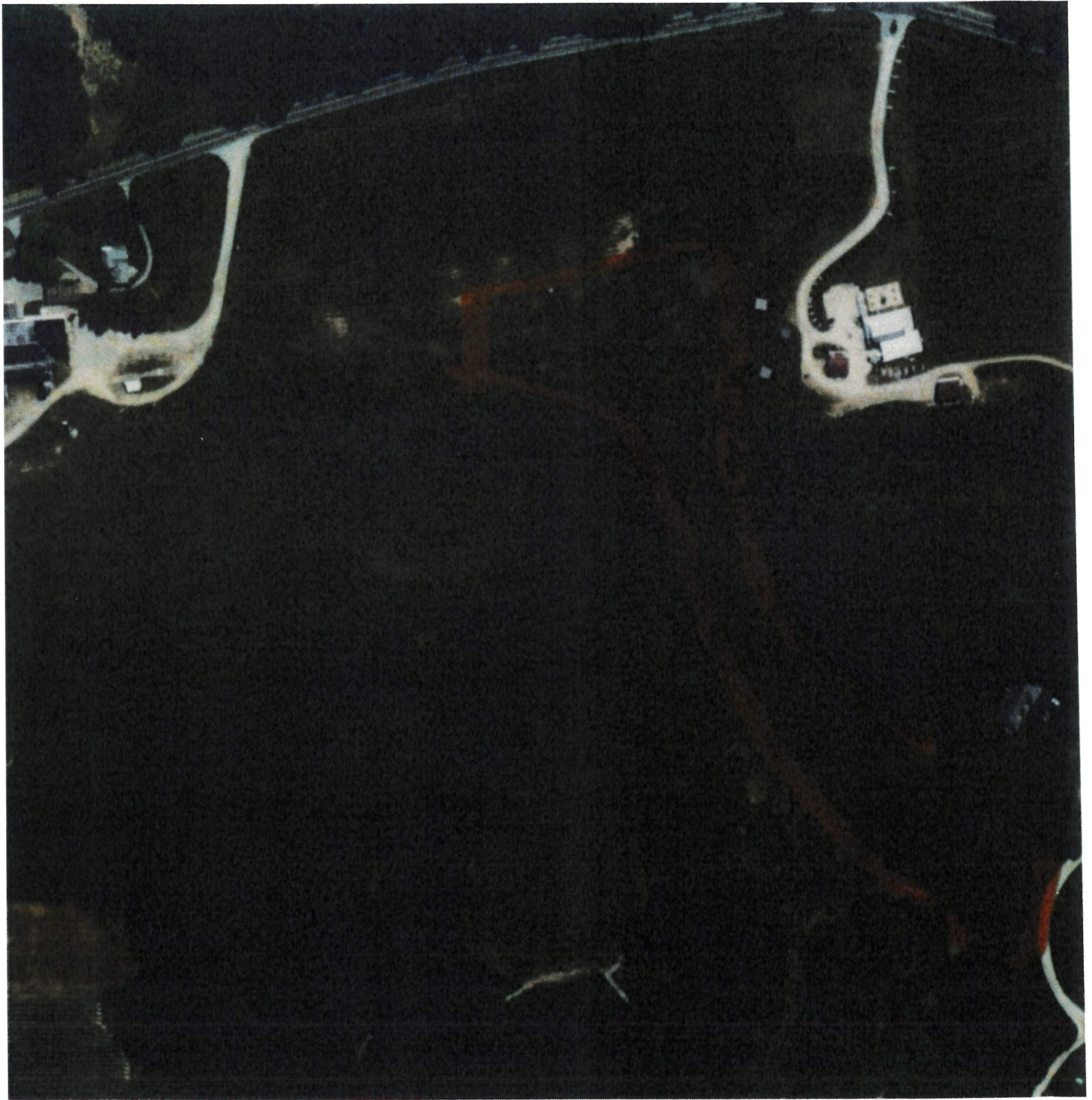


**From:** Chris Fredrickson <[cf@tcwhiskey.com](mailto:cf@tcwhiskey.com)>  
**Sent:** Wednesday, October 23, 2024 8:51 AM  
**To:** Sarah Clarren <[planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov)>  
**Cc:** Marc L. Felt <[mfelt@erhardtcc.com](mailto:mfelt@erhardtcc.com)>; Megan MMA <[megan@mathisonarchitects.com](mailto:megan@mathisonarchitects.com)>; Jared Rapp <[jr@tcwhiskey.com](mailto:jr@tcwhiskey.com)>  
**Subject:** Re: TCWC 5 Acres of Crops - Performance Guarantee @ TC3

Good morning Sarah, wanted to give you a heads up that we just completed planting approximately 6 acres of rye on our property at 9440 S Center Hwy.

Please confirm what, if any, supporting documentation you need from us.

Thank you, Chris



Chris Fredrickson

C: (231) 883-9705

[cf@tcwhiskey.com](mailto:cf@tcwhiskey.com)

On Aug 29, 2024, at 11:46 AM, Chris Fredrickson <[cf@tcwhiskey.com](mailto:cf@tcwhiskey.com)> wrote:

Received - we'll adapt this and return it to you in the next few days.

Thank you

On Thu, Aug 29, 2024 at 11:21 AM Sarah Clarren <[planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov)> wrote:

Chris,

I've attached a dated word version of one that you are welcome to revise; this is a template that was produced by an applicant's attorney. Once it's revised specific to the project, I'll send it to the Township Attorney for review and to see if they would propose any modifications. I believe the cost determined by estimating the cost of prepping and planting, with an additional 10%.

Sarah

**Sarah Clarren** | Planner / Zoning Administrator | Elmwood Township | 231-946-0921 | [www.elmwoodmi.gov](http://www.elmwoodmi.gov) |

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**From:** Chris Fredrickson <[cf@tcwhiskey.com](mailto:cf@tcwhiskey.com)>  
**Sent:** Thursday, August 29, 2024 10:44 AM  
**To:** Sarah Clarren <[planner@elmwoodmi.gov](mailto:planner@elmwoodmi.gov)>  
**Cc:** Marc L. Felt <[mfelt@erhardtcc.com](mailto:mfelt@erhardtcc.com)>; Jared R <[jr@tcwhiskey.com](mailto:jr@tcwhiskey.com)>  
**Subject:** TCWC 5 Acres of Crops - Performance Guarantee @ TC3

Sarah, please let me know what you need for a Performance Guarantee for our 5 acres of crops at TC3 (9440 S Center Hwy) - is there a standard document/template we need to fill out? Does it need to be notarized? I can tackle that this week.

--

Chris Fredrickson

Traverse City Whiskey Co.

C: 231-883-9705

[cf@tcwhiskey.com](mailto:cf@tcwhiskey.com)

## Elmwood Township Fire and Rescue Department

10090 E. Lincoln Road, Traverse City, MI 49684

Station: (231) 941-1647 / Fax: (231) 941-9927 / Email: [ktampa@elmwoodfire.org](mailto:ktampa@elmwoodfire.org)

### **SITE PLAN REVIEW**

**To:** Planning Commission, Charter Township of Elmwood  
Sarah Clarren, Planning and Zoning Administrator, Charter Township of Elmwood

**REVIEW DATE:** October 30, 2024

**REVIEWED BY:** Keith Tampa, Fire Chief

**PROJECT NAME:** TC Whiskey – Offices and Visitor Center Additions  
**LOCATION:** 9440 S. Center Highway, Elmwood Township, Leelanau County, MI  
**PROP. TAX ID:** 004-008-009-00  
**APPLICANT:** TCWC Holding, LLC., 13975 S. Robinson Rd., Traverse City, MI 49684

### **SCOPE**

This review applies to features allowing for safe and efficient emergency response by the Elmwood Township Fire and Rescue Department when facing issues related to life safety, incident stabilization, and property conservation. The information provided in this review is for consideration by the Elmwood Township Planning Commission (Planning Commission) and does not include the requirements or recommendations of other authorities. Any requirements or recommendations presented in this review are subject to approval or alteration by the Planning Commission or other authority having jurisdiction.

### **ASSUMPTIONS**

- The applicant will comply with all applicable federal, state, and local laws and building codes.
- All structures within this project are subject to review by the Leelanau County Department of Building Safety for determining occupancy classification, occupancy load, and additional life safety and fire protection requirements.
- Any conflicts between fire department requirements and recommendations and any law, ordinance, or code will be brought to the attention of the Elmwood Township Fire Chief for further review.
- All assumptions and recommendations are based solely on the fire department's perspective on life safety and hazard mitigation and may not include the requirements or recommendations of other authorities.

### **DEFINITIONS**

- Exposure: Any structure greater than 100 sq./ft. located within 50 feet of another.
- Fire Department: The Elmwood Township Fire and Rescue Department
- Township: The Charter Township of Elmwood, Leelanau County, MI
- Plan(s): All documents found under the "Reviewed Documents" section at the end of this site plan review.

### **INTRODUCTION**

This site plan review is for proposed additions to the TC Whiskey production facility at the above listed address, formerly known as Cherry Growers Processing plant. The applicant states in documentation provided that renovations will accommodate the distilling process, along with an addition for loading dock, tasting room, office space, retail storage, tour gathering areas, and restrooms. Further reading indicates there will be conference rooms, bar and lounge seating, retail sales, and a kitchen.

The project is located in a rural area of the Township between Crain Hill and Lakeview Hills Roads, approximately 3.7 miles from the Elmwood Township Fire Station and 2.4 miles from a mutual aid fire station (unstaffed).

### **STRUCTURES AND EXPOSURES**

The plan illustrates the demolition of an existing garage, landscaping, and asphalt/concrete parking surfaces. A farmhouse, previously on the property, was demolished during a fire department live fire training. The plans go on to indicate the construction of additions predominately along the south and east sides of the existing

production facility. A smaller addition is indicated on the west side, middle of the building. The eastside addition is shown as having two (2) floors with variable roof heights.

The plans show the construction of a still tower near the middle of the eastside addition with a roof height of approximately 43 feet. The roof height for the rest of the structure appears to be 27 feet or less.

A series of 3 to 4 grain silos are shown in the southwest corner. These silos appear shorter than roof height of the main building.

A large "patio canopy" is shown covering the walkway to the visitor center entrance in the southeast corner.

The plans provided indicate a gross floor area of:

• Proposed Offices	5,041 sq. ft.
• Proposed Visitor's Center	12,824 sq. ft.
• <u>Distillery/Light Industrial</u>	<u>43,647 sq. ft.</u>
• Total	61,512 sq. ft.

Aside from possibly the silos, there are no other exposures near the main structure. The storage warehouse on the property is located well outside the fifty (50) foot inclusion area.

**FIRE APPARATUS ACCESS AND MOVEMENT**

The property is serviced by four (4) commercial driveways, three (3) of which access a long, north-south parking lot that parallels S. Center Highway. This parking lot provides access to the east side additions and a connected parking lot to the north. The north drive that accesses this parking lot from S. Center Highway continues around the building, providing access to the rear of the structure.

The fourth drive provides a second access drive/road and is shown on the plans at the south end of the property. This road travels west and north around to the rear of the production facility. The drive also provides direct access to the newly constructed storage warehouse.

The south end drive appears to narrow approximately 360 feet from its entrance and fall below the 20 ft. required width for a FAAL. This narrowing may also be the case on the west side of the building near the southwest corner of the proposed addition.

The plans also indicate the south end entrance will be constructed of "grass pavers". Consideration should be given to year-round access, snow removal and weight bearing capacity.

Access – Buildings / Facilities

The use of both drives and parking areas allows access within 150 feet of all portions of the first story exterior walls. Access to the rear of the building can be long and exposed in narrow areas.

Turn Radius

Radii appear acceptable and should not impede access.

Gates and Fences

There is one gate shown at the south end entrance described as an "Emergency / Maintenance Access Gate". No other fences or gates are shown on the plans that would restrict fire department access though a site visit found gates at the northwest corner and south access road. EFD has codes to both electronic padlocks.

Dead Ends and Turn Arouds

Both FAALs appear acceptable when properly constructed and maintained for passage and do not require additional turn-around space. Both FAALs connect at the rear of the structure, providing a through-way drive back on to S. Center Highway. Additionally, the south end access provides ample room for fire apparatus to turn around near the loading docks as does the area located in the northwest corner of the production facility.

Grades

Grades are acceptable along all drives and parking areas that create FAALs.

### Aerial Fire Apparatus Access

The plans provided indicate the roof surface, except for the still tower, will not exceed 30-foot height (grade to the eave). Specific to this project, the still tower is not being considered when determining the need for aerial access. This means the fire department is not requesting an aerial access lane as described in the IFC.

### Bridges

No bridges are indicated on the plans.

## **LIFE SAFETY AND HAZARD CONSIDERATIONS**

Life safety issues and hazards are expected to be those typical of an office and light industrial complex. Unique to this project is the production of flammable liquids (alcohol). Life safety issues should be addressed through the construction of hazard control areas. Each hazard control area shall have its own requirements reviewed and addressed by the Leelanau County Department of Building Safety.

Fire alarms and on-site emergency plans should address the facility as a whole and alert the occupants in all areas if there is an incident.

In addition, silos, tanks and other equipment and systems may be considered confined spaces, possibly even permit required confined spaces. EFD does not have a confined space rescue team and relies on mutual aid to provide that service.

## **FIRE SUPPRESSION AND WATER SUPPLY**

The project site is not serviced by a municipal water system. Historical records indicate an existing well on the grounds of the production plant known to have once been used to fill EFD water tanker trucks.

Currently, TCWC has a water tank on-site constructed and plumbed for fire suppression to the storage warehouse. The plans indicate this tank and water system will tie into the production facility and supply two “yard hydrants”, one on the west side and the other on the east side of the production facility. There is limited information on the installation of any fire suppression system to production facility, its design and coverage, so it is unclear whether facility will have a system, full or in part.

Calculations were conducted in accordance with the National Fire Protection Association’s (NFPA) Standard 1142, Standard on Water Supplies for Suburban and Rural Fire Fighting to determine minimum fire flow and on-site water needs.

Calculations indicate the current on-site water tank, with its capacity of just under 180,000 gallons, in conjunction with standard fire department water shuttle operations will meet the fire flow and on-site capacity needs.

## **EXCERPTS FROM THE INTERNATIONAL FIRE CODE (IFC, 2012)**

- **503.1.1 Buildings and facilities.** *Approved* fire apparatus access roads shall be provided for every facility, building, or portion of a building hereafter constructed or moved into or within the jurisdiction. The fire apparatus access road shall comply with the requirements of this section and shall extend to within 150 feet (45 750 mm) of all portions of the facility and all portions of the exterior walls of the first story of the building as measured by an *approved* route around the building or facility.

**Exception:** The *fire code official* is authorized to increase the dimension of 150 feet (45 750 mm) where:

1. The building is equipped throughout with an *approved automatic sprinkler system* installed in accordance with Section 903.3.1.1, 903.3.1.2 or 903.3.1.3.
2. Fire apparatus access roads cannot be installed because of location on property, topography, waterways, nonnegotiable grades or other similar conditions, and an *approved alternative means of fire protection* is provided.

3. There are not more than two Group R-3 or Group U occupancies. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*
- **503.1.2 Additional access.** The *fire code official* is authorized to require more than one fire apparatus access road based on the potential for impairment of a single road by vehicle congestion, condition of terrain, climatic conditions or other factors that could limit access.
  - **503.2.1 Dimensions.** Fire apparatus access roads shall have an unobstructed width of not less than 20 feet (6096 mm), exclusive of shoulders, except for *approved* security gates in accordance with Section 503.6, and an unobstructed vertical clearance of not less than 13 feet 6 inches (4115 mm). IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*.
  - **503.2.5 Dead ends.** Dead-end fire apparatus access roads in excess of 150 feet (45 720 mm) in length shall be provided with an *approved* area for turning around fire apparatus. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*.
  - **503.2.7 Grade.** The grade of the fire apparatus access road shall be within the limits established by the fire code official based on the fire department's apparatus. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*
  - **503.3 Marking.** Where required by the *fire code official*, *approved* signs or other *approved* notices or markings that include the words NO PARKING-FIRE LANE shall be provided for fire apparatus access roads to identify such roads or prohibit the obstruction thereof. The means by which *fire lanes* are designated shall be maintained in a clean and legible condition at all times and be replaced or repaired when necessary to provide adequate visibility. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*.
  - **503.4 Obstruction of fire apparatus access roads.** Fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. The minimum widths and clearances established in Section 503.2.1 shall be maintained at all times. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*.
- (Note: Maintenance of the FAALs will require management of snow removal and storage.)
- **503.6 Security gates.** The installation of security gates across a fire apparatus access road shall be *approved* by the fire chief. Where security gates are installed, they shall have an *approved* means of emergency operation. The security gates and the emergency operation shall be maintained operational at all times. Electric gate operators, where provided, shall be *listed* in accordance with UL 325. Gates intended for automatic operation shall be designed, constructed and installed to comply with the requirements of ASTM F 220. IFC (2012) – Chapter 5 Fire Service Features – Section 503: *Fire Apparatus Access Roads*.
  - **505.1 Address identification.** New and existing buildings shall have *approved* address numbers, building numbers or *approved* building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Where required by the *fire code official*, address numbers shall be provided in additional *approved* locations to facilitate emergency response. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 05 inch (12.7 mm). Where access is by means of a



private road and the building cannot be viewed from the *public way*, a monument, pole or other sign or means shall be used to identify the structure. Address numbers shall be maintained. IFC (2012) – Chapter 5 Fire Service Features – Section 505: *Premise Identification*.

- **506.1 Where required.** Where access to or within a structure or an area is restricted because of secured openings or where immediate access is necessary for life-saving or fire-fighting purposes, the *fire code official* is authorized to require a key box to be installed in an *approved* location. The key box shall be of an *approved* type listed in accordance with UL 1037, and shall contain keys to gain necessary access as required by the *fire code official*. IFC (2012) – Chapter 5 Fire Service Features – Section 506: *Key Boxes*.
- **507.5.4 Obstruction.** Unobstructed access to fire hydrants shall be maintained at all times. The fire department shall not be deterred or hindered from gaining immediate access to fire protection equipment or fire hydrants. IFC (2012) – Chapter 5 Fire Service Features – Section 507: *Fire Protection Water Supplies*.
- **B103.3 Areas without water supply systems.** For information regarding water supplies for fire-fighting purposes in rural and suburban areas in which adequate and reliable water supply systems do not exist, the *fire code official* is authorized to utilize NFPA 1142 or the *International Wildland Interface Code*. IFC (2012) – Appendix B Fire-Flow Requirements For Buildings – Section B103: *Modifications*.
- **D103.2 Grade.** Fire apparatus access roads shall not exceed 10 percent in grade.  
**Exception:** Grades steeper than 10 percent as *approved* by the fire chief. IFC (2012) – Appendix D Fire Apparatus Access Roads – Section D103: *Minimum Specifications*.
- **D103.6 Signs.** Where required by the fire code official, fire apparatus access roads shall be marked with permanent “NO PARKING - FIRE LANE” signs complying with Figure D103.6. Signs shall have a minimum dimension of 12 inches (305 mm) wide by 18 inches (457 mm) high and have red letters on a white reflective background. Signs shall be posted on one or both sides of the fire apparatus road as required by Section D103.6.1 or D103.6.2. IFC (2012) – Appendix D Fire Apparatus Access Roads – Section D103: *Minimum Specifications*.

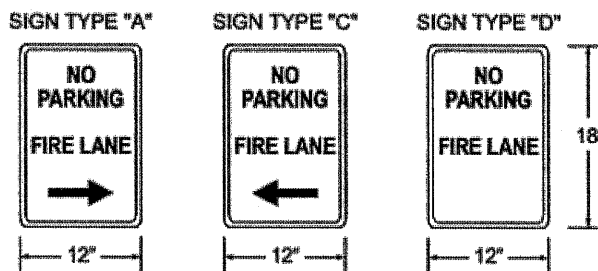


FIGURE D103.6 FIRE LANE SIGNS

- **D103.6.1 Roads 20 to 26 feet in width.** Fire lane signs as specified in Section D103.6 shall be posted on both sides of fire apparatus access roads more than 26 feet wide (6096 to 7925 mm). IFC (2012) – Appendix D Fire Apparatus Access Roads – Section D103: *Minimum Specifications*.

- **D103.6.2 Roads more than 26 feet in width.** Fire lane signs as specified in Section D103.6 shall be posted on one side of fire apparatus access roads that are 20 to 26 feet wide (7925 mm) and less than 32 feet wide (9754 mm). IFC (2012) – Appendix D Fire Apparatus Access Roads – Section D103: *Minimum Specifications*.

### **RECOMMENDATIONS OF CONDITIONS**

1. Applicant shall comply with IFC standards for clear widths and the maintenance of all fire apparatus access lanes. This includes snow removal and maintenance of fire lanes approved for construction with “grass pavers.” Reference: IFC 503.2.1 & 503.4.
2. Applicant shall provide address identification visible from the public right-of-way and at other approved locations to facilitate emergency response. Address identification and approved locations will comply, at a minimum, with IFC standards. Reference: IFC 505.1.
3. Applicant shall maintain clear access to the existing on-site fire suppression water tank and hydrants Reference: IFC 507.5.4.
4. Applicant shall place and maintain signage designating “NO PARKING – FIRE LANE” along the rear (west side) FAAL and near the hydrants to discourage obstruction. Signs shall be conspicuously spaced to discourage parking in these areas. Signage should substantially meet the IFC Appendix D Fire Apparatus Access Roads – Section D103.6: Signs. Any proposed alternatives to the standard shall be approved by the Fire Chief. Reference: IFC 503.3 & D103.6.
5. Applicant shall ensure gates installed across fire apparatus access lanes are approved by the fire chief and have an approved means of operation. Reference: IFC 503.6.
6. Applicant shall install a key box (Knox Box ®) for fire department access in a location approved by the fire chief. Reference: IFC 506.1.

### **SUMMARY**

The details presented above are based on the referenced documents below. It is my advice that the applicant comply with the recommendations stated in the above narrative to support emergency response and hazard mitigation. Some of those recommendations may be subject to the building code and/or may need to be addressed during the appropriate phase of construction, require additional review, field inspection, or the submittal of certifying documents to the appropriate authority. Any changes in the presented documents not addressed above, and that may affect emergency response and fire control, shall be brought to the attention of the Fire Chief for further review.

### **REVIEWED DOCUMENTS**

- TC Whiskey Co. Proposed Offices and Visitor’s Center Additions – Gourdie-Fraser, Associates (GFA), GFA Job No: 18355, Issued Date: 9/20/2024. Mathison Mathison Architects (MMA), MMA Job #: 22000.
  - C1.0, Cover Sheet
  - C2.0, Survey and Adjacent Property Information Plan
  - C2.1, Existing Conditions and Demolition Plan
  - C3.0, Site Plan
  - C3.1, Dimension Plan
  - C3.2, Overall Grading Plan
  - C3.3-5, Grading Plan Detail (#1-3)
  - C3.6, Entrance Grading Plan #4
  - C3.7, Storm Water Control Plan
  - C3.8, Utility Plan
  - C4.0-3, Construction Details
  - C4.4, Utility Details
- TC Whiskey Company. Mathison Mathison Architects (MMA), MMA Job #: 20149. Issued Date: 9/20/2024.
  - AS1.0, Architectural Plan
  - A2.1-3, Exterior Elevations
  - ES.2, Electrical Site Plan

- Letter – Traverse City Whiskey Company – Renovations and Additions to Distillery. From: Megan Feenstra Wall, MMA. To: Sarah Clarren, Elmwood Twp Planning & Zoning Administrator. Date: 9/20/2024.
- Letter – Traverse City Whiskey Company – Special Use Permit extension request. From: Megan Feenstra Wall, MMA. To: Sarah Clarren, Elmwood Twp Planning & Zoning Administrator. Date: 9/20/2024.
- Elmwood Township Site Plan Review Application, Applicant: TCWC Holding Company, LLC.
- Email – RE: TCWC – Site Plan Review Plan Sets. From: Sarah Clarren, Elmwood Twp Planning & Zoning Administrator. To: Dave Lewis, GFA. Cc: Megan Feenstra Wall, MMA; Chris Fredrickson. Date: 10/23/2024.
- Leelanau County Web Site, Tax Parcel Viewer.

**REFERENCE DOCUMENTS**

- International Fire Code (IFC)
- National Fire Protection Association (NFPA) Standard 1142, Standard on Water Supplies for Suburban and Rural Fire Fighting

Reviewed By:

Keith Tampa / Fire Chief  
Signature / Title

10/30/2024  
Date



**Benzie County Office**  
 6051 Frankfort Hwy, Ste 100  
 Benzonia, MI 49616  
 Phone: 231-882-4409  
 Fax: 231-882-2204



**Benzie-Leelanau**  
**DISTRICT HEALTH DEPARTMENT**  
*CARING FOR OUR COMMUNITIES*  
 www.bldhd.org

**Leelanau County Office**  
 7401 E. Duck Lake Rd, Ste 100  
 Lake Leelanau, MI 49653  
 Phone: 231-256-0201  
 Fax: 231-256-0225

## Non-Residential Well Permit

<b>WSSN:</b>	<b>Facility Name:</b> 45-004-008-009-20	<b>Source ID:</b>
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**Permit Issued to:**  
 TCWC Holdings Company, LLC  
 13975 S. Robinson Rd.  
 Traverse City, MI 49684


**Email Permit to:**  
 Marc Felt  
 mfelt@erhardtcc.com

Permitted Location:	
Parcel #: 45-004-008-009-20	Permit Number: L23-082
Facility Address: 9432 S Center Hwy., Traverse City	Permit Type: Type II Well
County: Leelanau	Permit Issued For: Commercial - Type IIb
Township: Elmwood Section: 8	Replacement or Repair: No

Facility Information:	
Applicant's Name: Marc Felt	Contact Phone: (231) 922-8292
	Contact's Email: mfelt@erhardtcc.com
Premise Type: Distillery and Tasting Room	Annual Operation: Yes
Max No. of Persons Per Day: 360	Number of Employees: 50
No. of Service Connections: 2 ( Domestic and Irrigation)	

Non-Residential Well Isolation Distance in Feet					
Contamination Source	Type IIb & III	Type I & IIa	Contamination Source	Type IIb & III	Type I & IIa
Agriculture Chemical Storage	800	2000	Septic Tank	75	200
Landfill	800	2000	Sewage Pump Chamber	75	200
Animal/poultry yard	75	200	Sewage Holding Tanks	75	200
Buried Gravity Sewer	75	200	Surface water	75	200
Buried Pressure Sewer	75	200	Underground or above grade fuel tank (less than 1,100 gal.)	800	2000
Drainfield	75	200	Oil/gas Wells	300	300
Drywell	75	200	Domestic Sludge Disposal Site	75	200
Grease Trap	75	200	Municipal Sludge Disposal Site	800	2000

Refer to Act 399, PA 1976 for minimum isolation distances requirements.

  
 \_\_\_\_\_  
 Jim Reardon, M.Sc.  
 Environmental Health Sanitarian  
 bldhd\_eh@bldhd.org

April 26, 2023  
 Date Issued

**\* Permit Expires 2 Years from the Date of Issuance (April 25, 2025)**  
 \* Please be aware that other local or state permits maybe required (ex. Soil Erosion, Critical Dunes, etc.) prior to well installation.  
 \* **Proposed Changes to permit must be approved prior to installation.** Call our office at the number listed above if you have any questions regarding this permit.

**See Permit Requirements/Conditions & Site Plan Drawing on Reverse Side or Attached**

**Permit Conditions/Deviations Requirements:**

- The well shall be located a minimum of 75' from all septic tank/final disposal systems.
- The well shall be located a minimum of 75' from all surface water.
- Sample the well for coliform bacteria and nitrate prior to placing the well into service. *see letter*
- Submit the water well drilling record within 60 days from the date of completion of the well.
- Call for a well final inspection when the inside well equipment connections are completed.
- The well must be constructed per Michigan's Groundwater Quality Control Act (Part 127 – Act 368, P.A. of 1978, as amended).
- See the Construction Drawing page for a site sketch showing the well location.
- The well shall be located a minimum of 75' from all animal pens/yards.
- The well shall be located a minimum of 75' from all septic tank/final disposal systems.
- The well shall be located a minimum of 800' from any fertilizer/pesticide storage tanks/buildings or mixing areas.
- The well shall be located a minimum of 800' from known major sources of contamination (i.e. chemical or waste chemical storage or disposal facilities/areas, fuel storage tanks, sanitary wastewater land application sites, etc.).
- The well must have a minimum capacity of 48 gallons per minute (GPM) to serve the domestic use. The well pump must be rated to produce this minimum at the depth the pump is set.
- Where the water line is less than 75' to a sewer line and septic system, it shall be sleeved with SCH #40 pipe w/glued joints.
- Please be aware that all wells that are designed to produce 70 g.p.m. or more, must be registered with the State of Michigan prior to construction of the well. Registration must be submitted online using the Water Withdrawal Assessment Tool (WWAT) and must be completed by the owner of the property where the well will be constructed. The WWAT can be accessed at <http://www.deq.state.mi.us/wwat>.
- A Soil Erosion permit must be obtained from the County prior to installation of the well.

**Site Plan Drawing**



# BENZIE-LEELANAU DISTRICT HEALTH DEPARTMENT

## TYPE II WELL PERMIT SITE SKETCH

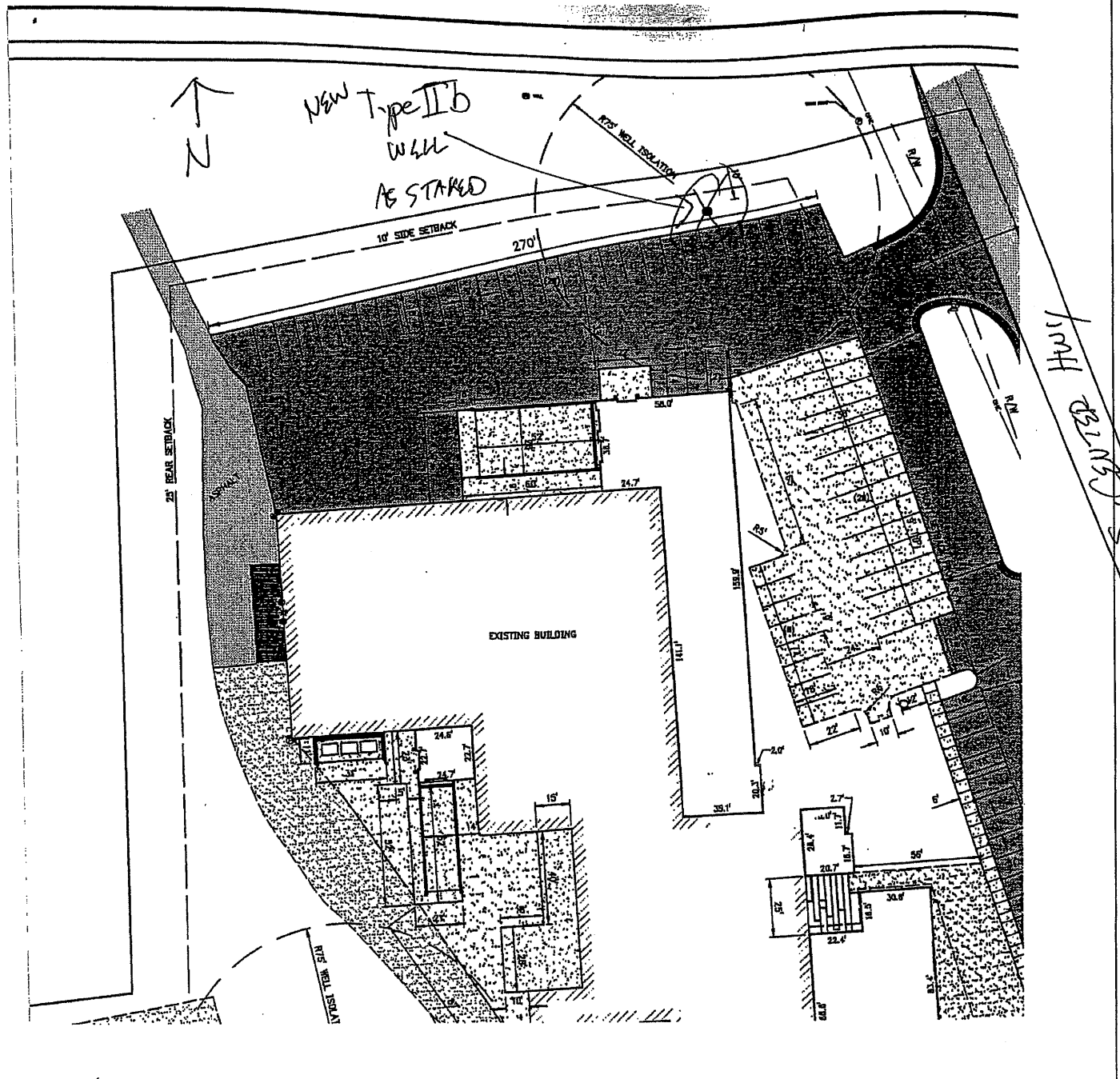
Traverse City Whiskey Company Tasting Room

Permit # L23-082

Tax ID# 45-004-008-009-20

Owner: TCWC Holdings Company, LLC

Install the new Type II well as shown on the diagram. Keep the well a minimum 75ft from a sewer line and septic system. See the additional permit conditions including, but not limited to, capacity needs, construction, and testing requirements listed on the permit approval letter. A backflow prevention valve shall be installed on all irrigation lines. As noted, a water withdrawal assessment and registration should be conducted prior to installation in accordance to state law for any large quantity water withdrawal using EGLE's Water Withdrawal Assessment Tool. Contact the Health Department upon installation for a final inspection and for water samples to be taken prior to drinking from the well.





**Benzie County Office**  
6051 Frankfort Hwy, Ste 100  
Benzonia, MI 49616

**Leelanau County Office**  
7401 E. Duck Lake Rd  
Lake Leelanau, MI 49653

Phone: 231-882-4409  
Fax: 231-882-0143

Phone: 231-256-0200  
Fax: 231-256-7399

[www.bldhd.org](http://www.bldhd.org)

April 26, 2023

TCWC Holdings Company, LLC  
13975 S. Robinson Rd.  
Traverse City, MI 49684

**RE: Issuance of Permit to Install a Type IIb Water Well at 9432 S. Center Hwy, Elmwood Twp, Leelanau County  
Parcel ID: 45-004-008-009-20**

Attn.: Marc Felt, Erhardt Construction Company

Dear Mr. Felt,

Enclosed is the approved well permit to serve the domestic and irrigation water for Traverse City Whiskey Company's facility At 9432 S. Center Hwy., Traverse City, Michigan. Please note the conditions of this permit are as follows:

**- ISOLATION**

Michigan's Safe Drinking Water Act (Act 399, P.A. 1976) requires Type II wells to be located at least 800 feet from major sources of contamination such as chemical storage tanks or buried fuel tanks.

The well shall also be located a minimum of 75 feet from all potential sources of contamination such as, but not limited to, sanitary sewer lines, septic tanks and drainfields, manholes, grease traps, storm sewer lines, and storm sewer catch basins.

**- CONSTRUCTION**

The well shall be drilled to a minimum depth of 50 feet below grade to top of screen. The well shall be constructed as required by the Michigan Groundwater Quality Control Act (Part 127 – Act 368 of the P.A. of 1978, as amended) and the Michigan Safe drinking Water Act (Act 399, P.A. 1976).

**As this well is going to be used for irrigation purposes, backflow prevention valves shall be installed on all irrigation lines.**

**- CAPACITY**

Based on engineer's specifications, the minimum pump capacity the well is proposed to have is 80 gpm, which is sufficient for the domestic use. The hydropneumatic tank must have a usable (drawdown) capacity of 2 times the gallons per minute rating of the well, and/or in accordance with the pump manufacturer recommendations.

**In accordance to Act 179, of 2008, any large quantity water withdrawals shall be assessed and registered utilizing the Michigan Water Withdrawal Assessment Tool available via EGLE's website, under water resources.**

**- LOCATION**

The proposed location for the well has been approved as defined on the site plan. Do not alter this location without prior approval.

**- WELL RECORD**

The well drilling contractor is to complete the well record (well log) upon completion of the well and submit a copy directly to the Benzie/Leelanau District Health Department for use at the final inspection.



#### **- DISINFECTION AND SAMPLING**

We have found that the most effective way to initially disinfect new wells is to use the displacement method. Place heavily chlorinated water into the well to displace at least two times the casing volume; pump into the distribution system; allow 24 hours contact time; and then pump to waste.

A usable sample tap must be located near the pressure tank or as close to the well as possible. The sample tap should have a 1/4 inch, downward turned, unthreaded outlet and be operated by a ball valve or a good quality gate valve.

After disinfection and pumping to waste, the Health Department must be contacted for final inspection.

After the chlorine has been completely flushed from the water well and prior to use of this well by the public, this department requires that the following samples be taken from the well:

- 2 Bacteriological Samples (Collected a minimum of 24 hours apart)
- 1 Nitrate (Result must be below the MCL of 10 mg/L)
- 1 Nitrite

Once this department receives copies of these results, and none exceed maximum contaminant levels and the bacteria samples are both negative, the water well may be put into use.

#### **- SPECIAL REQUIREMENTS**

Please make sure that you provide your well drilling contractor with a copy of the permit and this letter.

If there are any questions regarding what is required, or if changes to the permit or procedures are proposed, please contact me at (231) 256-0214 for prior approval.

Sincerely,

Jim Reardon, M.Sc.  
Environmental Sanitarian  
Benzie/Leelanau District Health Department

cc: Eric Johnston, BLDHD



MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY  
DRINKING WATER AND MUNICIPAL ASSISTANCE DIVISION

**WATER WELL AND PUMP RECORD**

Completion is required under authority of Part 127 of 1978 PA 368, as amended.  
Failure to comply is a misdemeanor.

TAX NUMBER <b>45-004-008-009-20</b>		<b>WATER WELL AND PUMP RECORD</b>			PERMIT NUMBER <b>L23-082</b>	
LATITUDE		LONGITUDE		COUNTY <b>Leelanau</b>	TOWNSHIP <b>Elmwood</b>	
DISTANCE & DIRECTION FROM ROAD INTERSECTION <b>1,800' N.E. of E. Cran Hill Rd. intersection</b>		WELL STREET ADDRESS, CITY/ZIP <b>9432 S. Center Hwy Traverse City MI 49684</b>		WSSN	SOURCE ID/ WELL NO.	SECTION <b>8</b>
				TOWN NO. <b>28N</b>	RANGE NO. <b>11W</b>	
DRILLING METHOD <input type="checkbox"/> Rotary <input type="checkbox"/> Cable Tool <input type="checkbox"/> Hollow Rod <input type="checkbox"/> Jetted <input type="checkbox"/> Auger/Bored <input type="checkbox"/> Other _____ <input type="checkbox"/> Rotary w/Casing Hammer <input type="checkbox"/> Cable Tool w/Casing Hammer		WELL USE <input type="checkbox"/> Household <input type="checkbox"/> Type I Public <input type="checkbox"/> Heat Pump-Supply <input checked="" type="checkbox"/> Irrigation <input checked="" type="checkbox"/> Type II Public <input type="checkbox"/> Heat Pump-Return <input type="checkbox"/> Industrial <input type="checkbox"/> Type III Public <input type="checkbox"/> Other _____ <input type="checkbox"/> Test Well		WELL OWNER NAME <b>JWC HOLDING Company LLC</b>		
WELL DEPTH _____ ft.		DATE COMPLETED		ADDRESS <b>13975 S. Robinson Rd.</b>		
		WELL TYPE <input type="checkbox"/> Dry Hole <input type="checkbox"/> New <input type="checkbox"/> Boring (Uncased) <input type="checkbox"/> Replacement <input type="checkbox"/> Deepening		CITY/ZIP <b>Traverse City MI 49684</b>		
CASING Type <input type="checkbox"/> Plastic <input type="checkbox"/> Steel-Black <input type="checkbox"/> Steel-Galvanized <input type="checkbox"/> Other _____		BOREHOLE Diameter _____ in. to _____ ft. depth _____ ft. depth		Owner Address Same As Well Address? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
Joint <input type="checkbox"/> Glued <input type="checkbox"/> Spline <input type="checkbox"/> Welded <input type="checkbox"/> Threaded		STATIC WATER LEVEL _____ ft. Below Grade <input type="checkbox"/> Flowing <input type="checkbox"/> Flow Rate Before Control _____ G.P.M.		PUMP <input type="checkbox"/> Not Installed <input type="checkbox"/> Pump Installation Only		
Diameter _____ in. to _____ ft. depth _____ SDR		WELL YIELD TEST Pumping Level _____ ft. after _____ hrs. pumping at _____ G.P.M. <input type="checkbox"/> Air <input type="checkbox"/> Bailor <input type="checkbox"/> Plunger <input type="checkbox"/> Test Pump		Manufacturer _____		
Height Above Grade _____ ft. Fittings <input type="checkbox"/> Drive Shoe <input type="checkbox"/> Shale Packer		SCREEN <input type="checkbox"/> Not Installed <input type="checkbox"/> Filter-Packed Diameter _____ in. Material <input type="checkbox"/> Stainless Steel <input type="checkbox"/> Plastic <input type="checkbox"/> Other _____		Pump Type <input type="checkbox"/> Submersible <input type="checkbox"/> Jet <input type="checkbox"/> Other _____		
INSTALLATION <input type="checkbox"/> Telescoped <input type="checkbox"/> Attached		FITTINGS <input type="checkbox"/> Neoprene Packer <input type="checkbox"/> Bremer Check		Model Number _____ HP _____ Volts _____		
WELL GROUDED From _____ ft. To _____ ft. <input type="checkbox"/> Bentonite Slurry <input type="checkbox"/> Bentonite Dry Granular <input type="checkbox"/> Neat Cement <input type="checkbox"/> Neat Cement with Bentonite <input type="checkbox"/> Concrete No. of Bags _____		BLANK <input type="checkbox"/> Above _____ ft. Other _____		Pump Capacity _____ G.P.M. <input type="checkbox"/> Drawdown Seal Installed		
ADDITIVES <input type="checkbox"/> Lost Circulation Material <input type="checkbox"/> Accelerator <input type="checkbox"/> Retarder		METHOD <input type="checkbox"/> Grout pipe outside casing <input type="checkbox"/> Driven dry grout		Length of Drop Pipe _____ ft. Diameter of Drop Pipe _____ in.		
METHOD <input type="checkbox"/> Grout pipe inside casing <input type="checkbox"/> Displacement plug		WELLHEAD COMPLETION <input type="checkbox"/> Pitless Adapter <input type="checkbox"/> 12 in. Above Grade <input type="checkbox"/> Basement Offset <input type="checkbox"/> Well House		PRESSURE TANK <input type="checkbox"/> Not Installed <input type="checkbox"/> Buried Type <input type="checkbox"/> Diaphragm/Bladder <input type="checkbox"/> Galvanized		
NEAREST SOURCE OF POSSIBLE CONTAMINATION Type _____ Distance _____ ft. Direction _____ Type _____ Distance _____ ft. Direction _____		ABANDONED WELL PLUGGED <input type="checkbox"/> Yes <input type="checkbox"/> No Latitude _____ Longitude _____		Manufacturer _____ Model _____		
Casing Diameter _____ in. Depth _____ ft.		PLUGGING MATERIAL <input type="checkbox"/> Neat Cement <input type="checkbox"/> Bentonite Slurry <input type="checkbox"/> Cement/ Bentonite Slurry <input type="checkbox"/> Concrete Grout <input type="checkbox"/> Bentonite Chips		Total Tank Capacity _____ gal. <input type="checkbox"/> Pressure Relief Valve Installed		
No. of Bags _____ Casing Removed? <input type="checkbox"/> Yes <input type="checkbox"/> No		REMARKS		Formation Description		
ATTENTION WELL OWNER: FILE WITH DEED				Thickness of Stratum		
				Depth to Bottom of Stratum		
				USE SECOND SHEET IF NECESSARY		
				DRILLING MACHINE OPERATOR <input type="checkbox"/> Employee <input type="checkbox"/> Subcontractor		
				Name _____		
				PUMP INSTALLER (if different from drilling machine operator.)		
				Name _____		
				WATER WELL CONTRACTOR'S CERTIFICATION: <i>This well and/or pump installation was performed under my registration.</i>		
				Registered Business Name _____ Registration No. _____		
				Address _____		
				City/State/Zip _____		
				Signature of Registered Contractor _____ Date _____		



Leelanau  
 7401 E Duck Lake Rd. Suite 100  
 Lake Leelanau, MI 49653  
 Phone: (231) 256-0201  
 Fax: (231) 256-0225

**Receipt**

10126

Payment ID <b>JPLA-CQBRQ9</b>	Check # / Detail <b>2041/Marc Felt</b>	Payment Date <b>27-Mar-2023</b>
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**Establishment**  
 45-004-008-009-20  
 9432 S Center Hwy.  
 Traverse City MI 49684

Payment Date	Payment Type	Payment ID	Payment Details	Payment Amount	
27-Mar-2023	Credit Card	JPLA-CQBRQ9	Office: Leelanau, 2041/Marc Felt	\$525.00	
Fee Date	Fee Type	Fee ID	Fee Amount	Amount Paid	Balance
27-Mar-2023	Well - Type II~2131	JPLA-CQBRQ7	\$525.00	\$525.00	\$0.00



## ADDRESS VERIFICATION FORM

The Planning Department has reviewed the information provided and made the following determinations. If the information provided is subsequently found to be in error or incomplete, an address assignment, a change of address or an additional address may be required. Leelanau County and its officer/employees shall be held harmless in the event of such a change.

Parcel Number: 004-008-009-20  
(Combined 004-008-009-00 & 004-008-010-40)

Owner: TCW Holding Company LLC

Structure: Distillery/Tasting room

Address: 9432 S. Center HWY

Additional Structure: Commercial whiskey barrel storage building (house needs to be demolished)

Additional Address: 9440 S. Center HWY

Additional Structure:

Additional Address:

- New Address
- Additional Address
- Confirmation of Existing
- Change of Address

Signed

Gail Meyer  
Senior Planner

Date: 3-7-23

Entered in computer

**NOTE: It is the owner's responsibility to use copies of this form to notify others of the address, including phone company, utilities, post office, driver's license, and other records. Private road owners are responsible for private road signage. Please refer to the Leelanau County Address Ordinance for the proper display of addresses.**

Planning & Community Development  
8527 E. Government Center Dr. Ste. 108  
Suttons Bay, MI 49682  
Phone: (231) 256-9812 Email: [planning@leelanau.gov](mailto:planning@leelanau.gov)

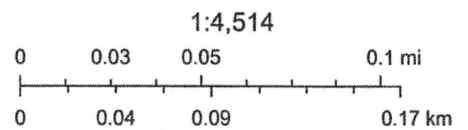


# Leelanau Parcel Viewer



3/7/2023, 10:34:42 AM

-  Roads
-  Municipalities
-  Sections
-  Tax Parcels



Sources: Esri, Airbus DS, USGS, NGA, NASA, CGIAR, N Robinson, NCEAS, NLS, OS, NMA, Geodatastyrelsen, Rijkswaterstaat, GSA, Geoland, FEMA, Intermap and the GIS user community, Esri Community Maps Contributors, GTC Equalization/GIS, © OpenStreetMap, Microsoft, Esri, HERE, Garmin.

# SOIL EROSION CONTROL PERMIT

Leelanau Conservation District  
Leelanau County Erosion Control Office  
8527 E. Government Center Dr., Suite 205  
Suttons Bay, MI 49682  
Phone: 231-256-9783 Fax: 231-256-7851

**PERMIT NUMBER: 23-083**

Fee Paid: \$1008.00 Visa

Site Visit Date: 3/14/23

Date Issued: 3/15/23

Expiration Date: 3/15/24

Extension Date: 4/16/24 to 4/16/25 Fee: \$504.

Under the provisions of Soil Erosion and Sedimentation Control, Part 91 of Act 451, authority is hereby granted to:

**OWNER /PERMITTEE**

**Name: TCWC Holding Company**

**Address: 13975 S Robinson Rd**

**City: Traverse City**

**State/Zip: MI 49684**

**Phone: 231-922-8292**

**CONTRACTOR**

**Name: Erhardt Construction Company**

**Address: 6060 Fulton Street East**

**City: Ada**

**State/Zip: MI 49301**

**Phone: 616-676-1222**

**LOCATION OF PROJECT**

**No. & Street: 9432 S Center Hwy**

**Township: Elmwood**

**Property Tax #: 004-008-009-20**

**Subdivision: N/A**

**ON-SITE RESPONSIBLE PERSON: Scott Mead**

**EGLE PERMIT NUMBER: N/A**

**DESCRIPTION OF EARTH CHANGE:**

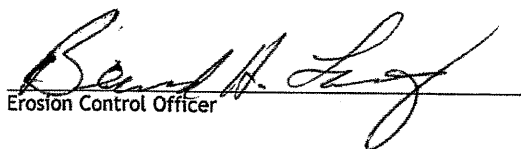
site excavation for new additions on existing warehouse building. Includes removal and regrading of existing parking lot , new storm, new loading dock well, and existing drives.

**PERMIT CONDITIONS (SPECIFIC):**

**NO SEDIMENT OR ADDITIONAL STORM WATER IS ALLOWED TO FLOW ONTO NEIGHBORING PROPERTY.**

**FOLLOW THE PLAN SUBMITTED BY GOURDIE FRAISER EXACTLY.**

**INSTALL SILT FENCE AS NEEDED TO KEEP SEDIMENT FROM FLOWING TO THE STORM WATER BASIN AREA.**

  
Erosion Control Officer

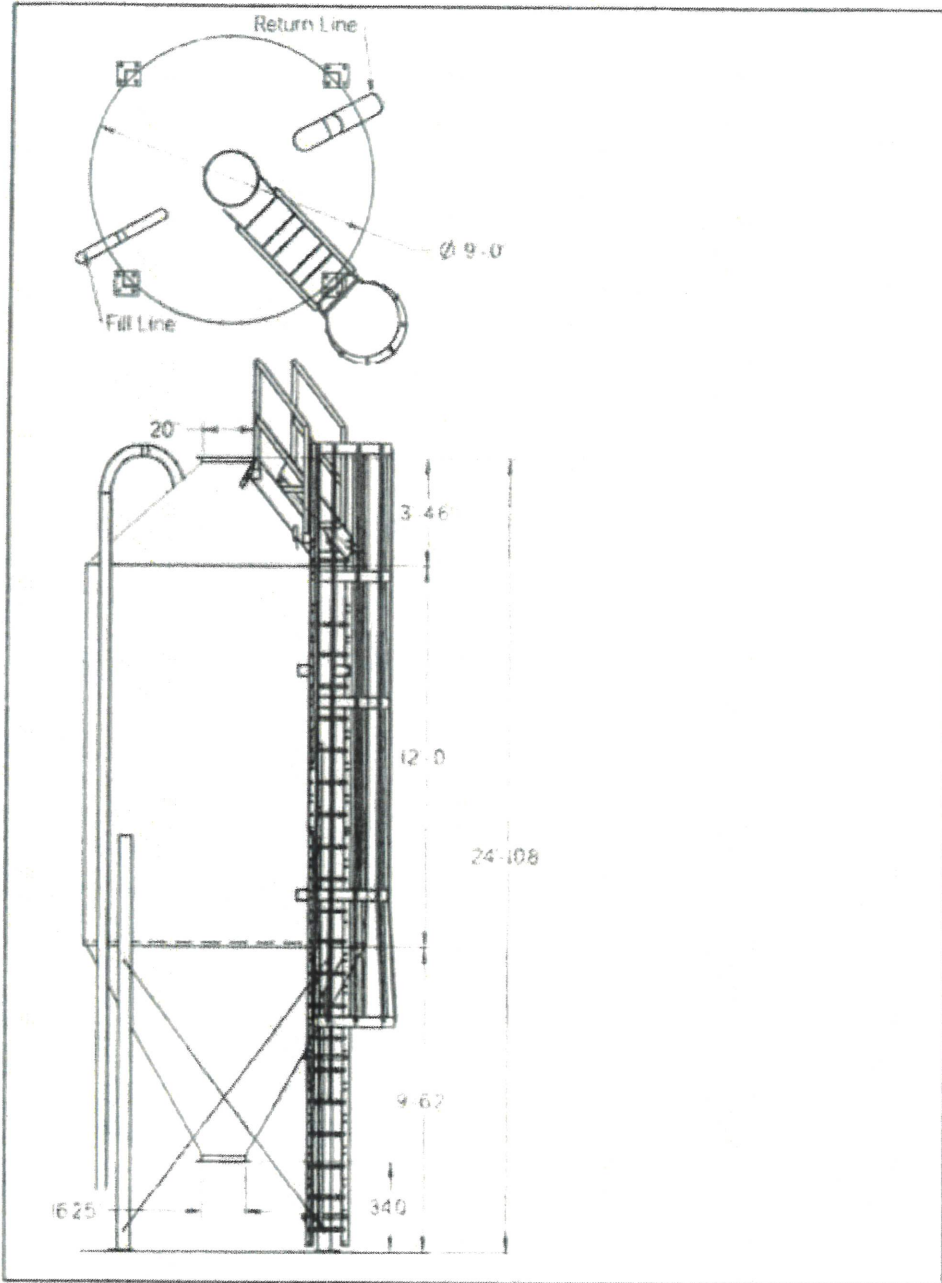
**THIS PERMIT MUST BE POSTED AT THE PROJECT SITE**

**YOU MUST NOTIFY THE CONSERVATION DISTRICT UPON COMPLETION OF YOUR PROJECT.**

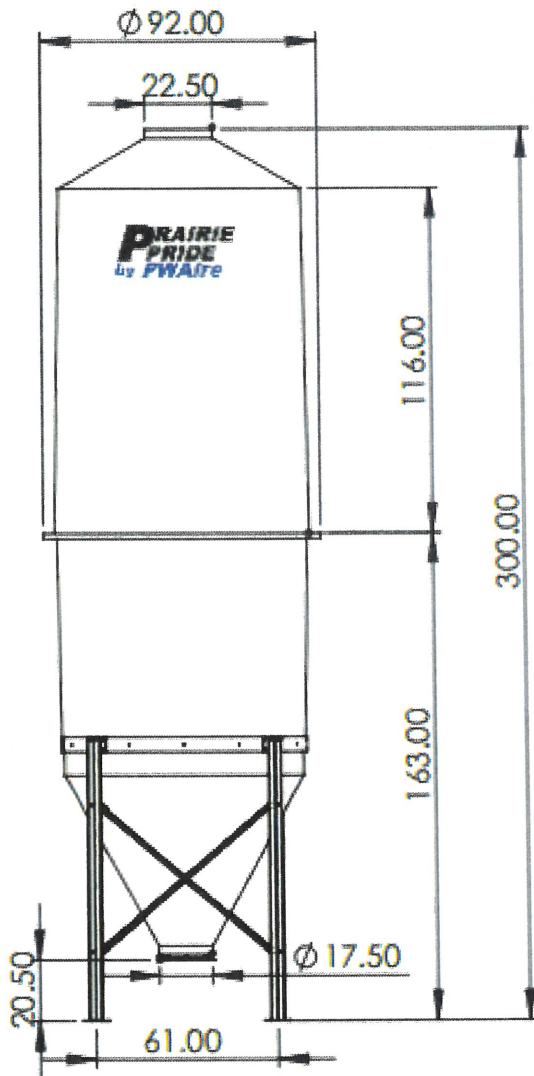
**ADDITIONAL CONDITIONS WILL BE FOUND ON THE REVERSE SIDE**





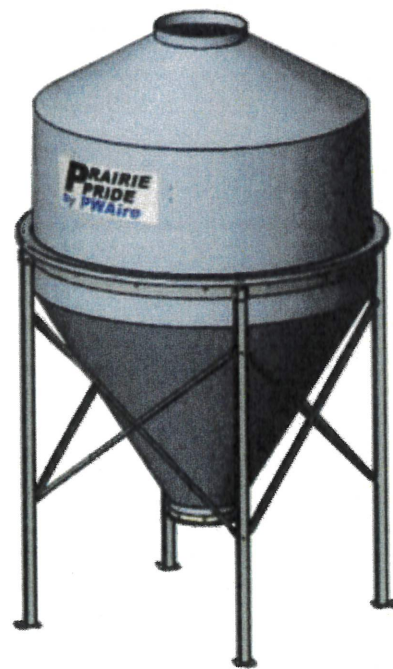
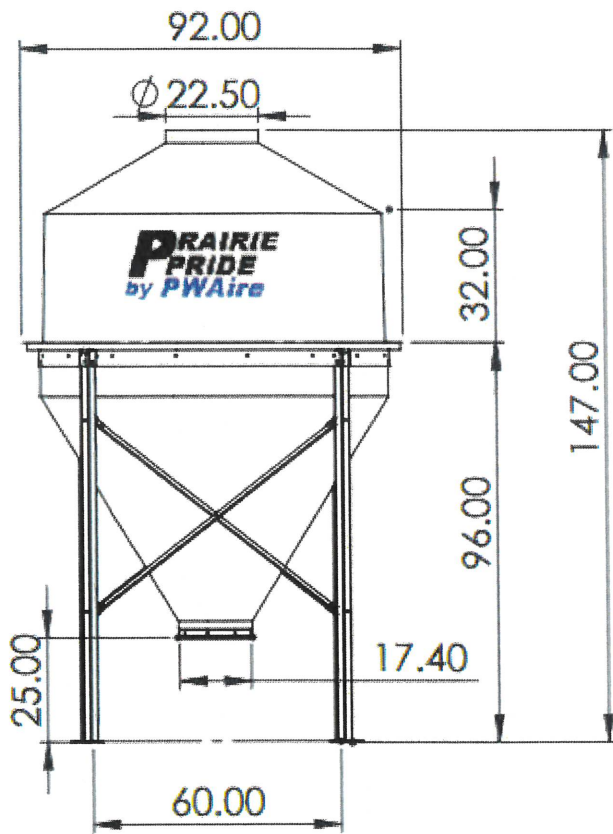


(in inches)





(in inches)





# PLANS PREPARED FOR: TRAVERSE CITY WHISKEY CO. PROPOSED OFFICES AND VISITOR'S CENTER ADDITIONS

## CLIENT / AGENCY

TRAVERSE CITY WHISKEY CO.  
201 E. 14TH STREET  
TRAVERSE CITY, MI 49684  
PHONE: 922-8292

## ENGINEER

ENGINEERING  
SURVEYING  
TESTING & OPERATIONS

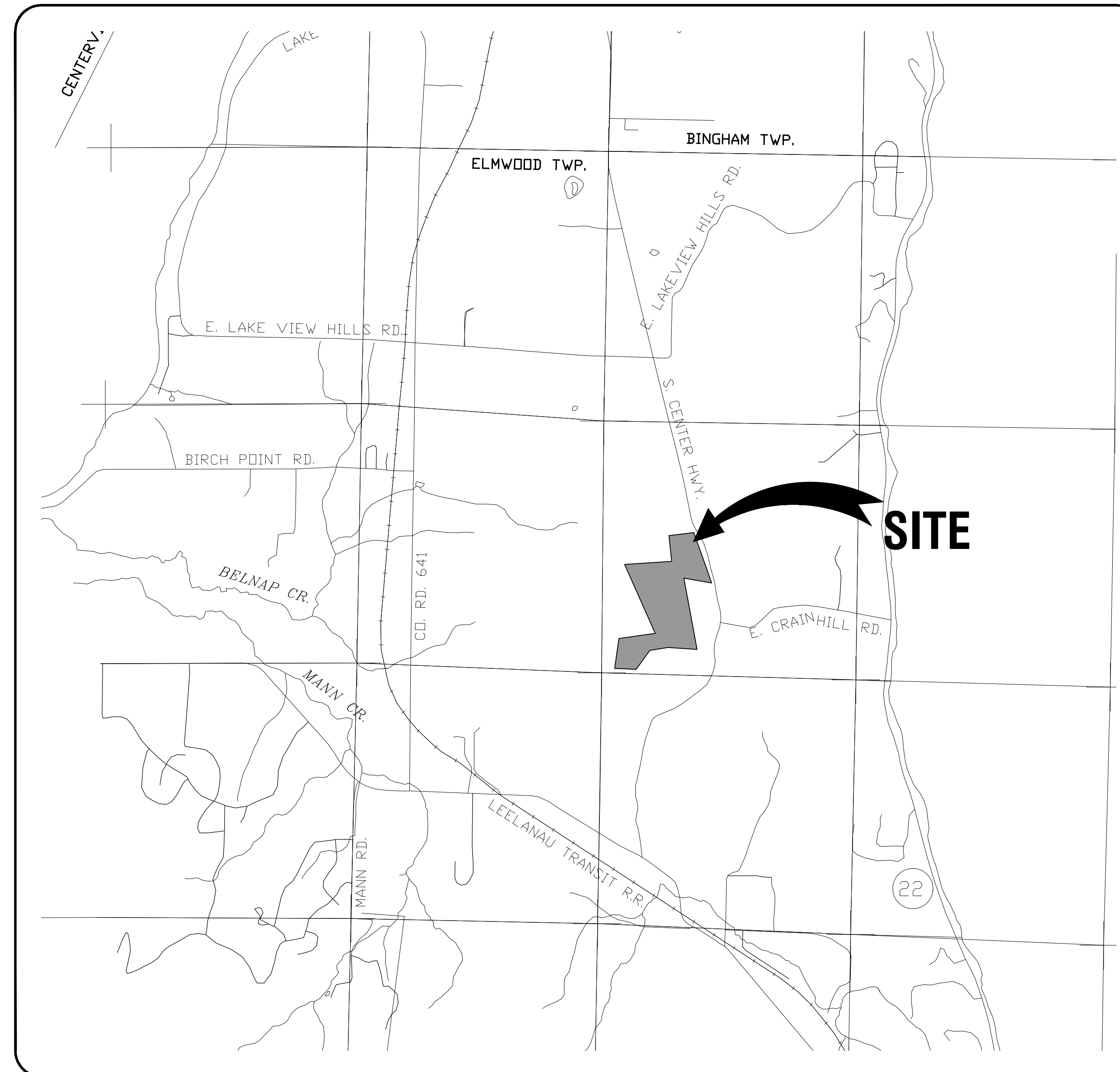


123 West Front Street  
Traverse City, MI 49684

<http://gfa.tc>

231.946.5874 (p)

231.946.3703 (f)

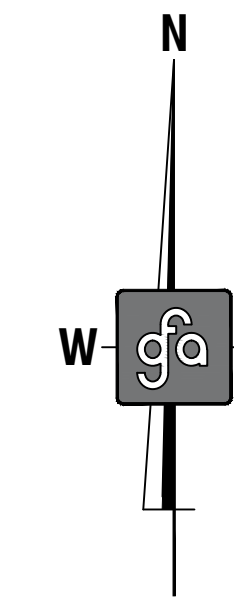


## LOCATION MAP

ELMWOOD TOWNSHIP, LEELANAU COUNTY, MICHIGAN  
NOT TO SCALE

## SHEET INDEX

- C1.0 COVER SHEET
- C2.0 SURVEY AND ADJACENT PROPERTY INFORMATION PLAN
- C2.1 EXISTING CONDITIONS AND DEMOLITION PLAN
- C3.0 SITE PLAN
- C3.1 DIMENSION PLAN
- C3.2 OVERALL GRADING PLAN
- C3.3 GRADING PLAN DETAIL #1
- C3.4 GRADING PLAN DETAIL #2
- C3.5 GRADING PLAN DETAIL #3
- C3.6 ENTRANCE GRADING PLAN #4
- C3.7 STORM WATER CONTROL PLAN
- C3.8 UTILITY PLAN
- C4.0 CONSTRUCTION DETAILS
- C4.1 CONSTRUCTION DETAILS
- C4.2 CONSTRUCTION DETAILS
- C4.3 CONSTRUCTION DETAILS
- C4.4 UTILITY DETAILS



**ISSUED: 09/20/2024**

**(ISSUED FOR APPROVAL)**

## PUBLIC AGENCIES AND UTILITIES

### PUBLIC AGENCIES

<p>CHARTER TOWNSHIP OF ELMWOOD Telephone: 231.946.0921</p> <p>BENZIE-LEELANAU DISTRICT HEALTH DEPARTMENT LEELANAU OFFICE Telephone: 231-256-0200</p> <p>LEELANAU COUNTY ROAD COMMISSION Telephone: 231.271.3993</p>	<p>ELMWOOD TOWNSHIP FIRE AND RESCUE DEPT. Telephone: 231-941-1647</p> <p>LEELANAU COUNTY DRAIN COMMISSION Telephone: 231.256.9783</p>
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### UTILITY AGENCIES

<p>CHERRYLAND ELECTRIC COOPERATIVE Telephone: 231.943.8377</p> <p>CONSUMERS ENERGY Telephone: 231.929.6242</p> <p>MICHCON (DTE ENERGY) Telephone: 231.592.3244</p>	<p>CHARTER COMMUNICATIONS Telephone: 231.929.7012</p> <p>AMERITECH Telephone: 231.941.2707</p>
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### EMERGENCY SERVICES

<p>EMERGENCY CALLS <b>911</b></p> <p>EMERGENCY AMBULANCE SERVICE <b>911</b></p> <p>POLICE AGENCIES EMERGENCY SERVICE: <b>911</b></p> <p>City of Traverse City: Telephone: 231.941.2300 Leelanau County Sheriff: Telephone: 231.941.4411 Michigan State Police: Telephone: 231.946.4646</p>	<p>FIRE DEPARTMENTS EMERGENCY SERVICE: <b>911</b></p> <p>City of Traverse City: Telephone: 231.941.2340 Elmwood Township: Telephone: 231.941.1647</p> <p>MISS DIG Telephone: 1.800.482.7171</p>	
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**SOIL CLASSIFICATION**

SOIL TYPE	ABBREVIATION	SLOPE (%)	INFILTRATION (IN/HR)
ALCONA-RICHTER SANDY LOAMS	ArA	0 - 2	0.57 - 1.98
ALCONA-RICHTER SANDY LOAMS	ArB	2 - 6	0.57 - 1.98
EAST LAKE LOAMY SAND	EcC	6 - 12	5.95 - 19.98
EMMET-LEELANAU COMPLEX	EnB	2 - 6	0.57 - 1.98
EMMET-LEELANAU COMPLEX	EnC	6 - 12	0.57 - 1.98
EMMET-LEELANAU COMPLEX	EnD	12 - 18	0.57 - 1.98
EMMET-LEELANAU COMPLEX	EnE	18 - 25	0.57 - 1.98
LEELANAU-EAST LAKE LOAMY SANDS	LiB	0 - 6	1.98 - 5.95
LEELANAU-EAST LAKE LOAMY SANDS	LiC	6 - 12	1.98 - 5.95
LEELANAU-EAST LAKE LOAMY SANDS	LiD	12 - 18	1.98 - 5.95
LEELANAU-EAST LAKE LOAMY SANDS	LiE	18 - 25	1.98 - 5.95
LEELANAU-EAST LAKE LOAMY SANDS	LiF	25 - 45	1.98 - 5.95
MANCLONA-EAST LAKE LOAMY SANDS	MiB	0 - 6	1.98 - 5.95
MANCLONA-EAST LAKE LOAMY SANDS	MiC	6 - 12	1.98 - 5.95

**Legal Description**

**COMBINED PARCEL**  
 Part of the West one-half of Section 8, Town 28 North, Range 11 West, Elmwood Township, Leelanau County, Michigan, more fully described as follows:  
 Commencing at the West one-quarter corner of said Section 8;  
 thence South 88°59'22" East, 998.16 feet,  
 along the East and West one-quarter line of said Section 8;  
 thence South 01°32'45" West, 63.32 feet;  
 to the POINT OF BEGINNING;  
 thence North 82°15'56" East, 633.89 feet;  
 thence North 01°57'02" West, 308.03 feet;  
 thence North 78°53'42" East, 379.91 feet;  
 thence Southeasterly, 362.21 feet, along the arc of a 5,164.16 foot radius curve to the right, the central angle of which is 04°01'07"; and the long chord of which bears South 19°56'30" East, 362.13 feet;  
 thence South 18°23'51" East, 459.91 feet;  
 thence North 78°28'01" West, 419.92 feet;  
 thence South 08°33'06" East, 1,042.54 feet;  
 thence North 84°42'19" West, 426.12 feet;  
 thence South 82°10'35" West, 297.10 feet;  
 thence South 37°08'56" West, 363.20 feet;  
 thence North 88°12'20" West, 286.44 feet;  
 thence North 08°06'52" East, 475.53 feet;  
 thence North 84°17'16" East, 525.56 feet;  
 thence North 21°59'25" West, 1,089.90 feet,  
 to the POINT OF BEGINNING.

Said Parcel contains 31.40 acres more or less.

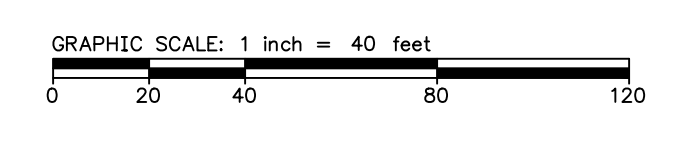
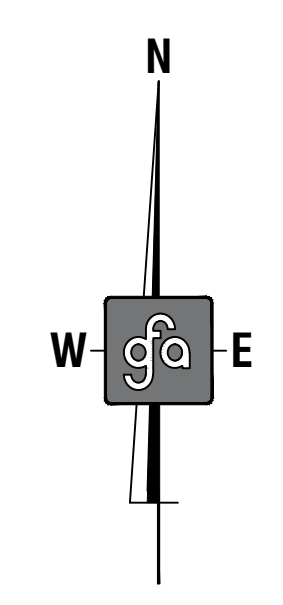
**Legend**

- ⊙ TANK COVER
  - ⊕ ELECTRICAL PANEL
  - ⊙ GUARD POST
  - ⊙ FLAG POLE
  - ⊙ FLOOD LIGHT
  - ⊙ CATCH BASIN
  - ⊙ TEST LEAD
  - ⊙ LIGHT POLE
  - ⊙ CURB STOP
  - ⊙ MANHOLE
  - ⊙ ELEC. TRANSFORMER
  - ⊙ FIRE HYDRANT
  - ⊙ MAILBOX
  - ⊙ SIGN
  - ⊙ UTILITY POLE
  - ⊙ TELE RISER
  - ⊙ FOUND IRON
  - ⊙ FOUND MONUMENT
  - ⊙ GOVERNMENT CORNER
  - ⊙ SOIL BORING
- N. NORTH
  - S. SOUTH
  - E. EAST
  - W. WEST
  - ° DEGREES
  - ' FEET OR MINUTES
  - " INCHES OR SECONDS
  - Sq. SQUARE
  - FL. FEET
  - Vol. VOLUME
  - P. PAGE
  - C. CALCULATED
  - R. RECORD
  - R/W. RIGHT OF WAY
  - C/L. CENTERLINE
  - T. TITLE
- SOILS TYPE BOUNDARIES (PER USDA SOILS MAP)

**Tillable Land Acreage & Crop Planting Schedule**

5 ACRES OF TILLABLE LAND IS REQUIRED.  
 7.05 ACRES OF TILLABLE LAND IS PROVIDED.

CROP TO BE PLANTED IS BARLEY, WHICH IS SCHEDULED TO BE PLANTED IN SPRING 2024.



**Demolition Notes**

1. ALL EXISTING BUILDING MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE AND PROPERLY DISPOSED. THE RESPONSIBILITY OF THE CONTRACTOR.
2. CARE TO BE USED AROUND EXISTING INFRASTRUCTURE TO REMAIN. ANY DAMAGE SHALL BE REPAIRED TO EX/BETTER CONDITION.
4. BURNING PERMITS ARE CONTRACTORS RESPONSIBILITY.

**Legend**

⊙ TANK COVER	N. NORTH
⊙ GUARD POST	S. SOUTH
— BURIED UTILITY FLAGGING	E. EAST
⊙ FLOOD LIGHT	W. WEST
⊙ CATCH BASIN	° DEGREES
⊙ TEST LEAD	' FEET OR MINUTES
⊙ LIGHT POLE	" INCHES OR SECONDS
⊙ CURB STOP	Sq. SQUARE
⊙ MANHOLE	Vol. VOLUME
⊙ ELEC. TRANSFORMER	P. PAGE
⊙ FIRE HYDRANT	C. CALCULATED
⊙ MAILEX	R. RECORD
⊙ SIGN	R/W. RIGHT OF WAY
⊙ UTILITY POLE	C/L. CENTERLINE
⊙ TELE. RISER	T. TITLE
⊙ FOUND IRON	
⊙ FOUND MONUMENT	
⊙ GOVERNMENT CORNER	
⊙ SOIL BORING	
X REMOVE	▨ DEMOLITION LIMITS

**Benchmarks**

- SET BM - A  
SET SPIKE IN POWER POLE  
ELEV. = 830.93
- SET BM - B  
SET SPIKE IN POWER POLE  
ELEV. = 839.71
- SET BM - C  
SET SPIKE IN POWER POLE  
ELEV. = 840.20

**General Notes**

1. ALL ELEVATIONS ARE BASED ON NAVD88 DATUM.
2. SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL SECURE ASSISTANCE FROM THE APPROPRIATE UTILITY COMPANY IN LOCATING ITS LINES. THE CONTRACTOR SHALL ALSO PROVIDE SUPPORT FOR ANY UTILITY WITHIN THE EXCAVATION, PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND, IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. THE CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, WHETHER PRIVATELY OR PUBLICLY OWNED, ABOVE OR BELOW GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER.
3. THE LOCATION OF EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWERS AND WATER LINES, OF RECORD ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY OPERATIONS IN THE VICINITY OF ANY UTILITIES, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND MISS DIG AND REQUEST THAT THEY STAKE OUT THE LOCATIONS OF THE UTILITIES IN QUESTION. THE CONTRACTOR SHALL COORDINATE THE RELOCATION OF ANY UTILITIES WITH THE UTILITY PROVIDER. COST OF REPAIR FOR ANY DAMAGED UTILITY LINES THAT IS PROPERLY STAKED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.
5. FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.
6. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO PERFORMING ANY WORK.
7. ALL WORK IS TO BE PERFORMED WITHIN THE PUBLIC RIGHT-OF-WAY AND/OR OWNED PROPERTY. ANY WORK OUTSIDE OF THESE LIMITS SHALL BE APPROVED AND COORDINATED WITH THE PROPERTY OWNER. DOCUMENTATION OF THIS ARRANGEMENT TO BE PROVIDED TO THE TOWNSHIP.
8. EXISTING PROPERTY CORNERS ARE IDENTIFIED ON THE PLANS. IF A PROPERTY CORNER IS DISTURBED DURING CONSTRUCTION IT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BY A PROFESSIONAL LAND SURVEYOR.
9. CONTRACTOR SHALL PROVIDE TEMPORARY SUPPORT TO ANY MAILEXES DISTURBED DURING CONSTRUCTION AND SHALL NOT INTERFERE WITH MAIL SERVICE. ALL DISTURBED MAILEXES SHALL BE PLACED IN ORIGINAL LOCATION AND AT AN ELEVATION DETERMINED BY THE POSTAL SERVICE.
10. LOCAL TRAFFIC SHALL BE MAINTAINED AT ALL TIMES.
11. CONTRACTOR SHALL RESTORE ALL LAWNS, LANDSCAPE PLANTINGS, SIDEWALKS, COMMERCIAL SIGNS, ETC., AS REQUIRED AT NO ADDITIONAL COST TO THE OWNER.
12. CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR UTILITY POLES AS NECESSARY. CONTRACTOR SHALL CONSULT WITH THE UTILITY COMPANY PRIOR TO ANY DISTURBANCE OF UTILITY POLE OR ANCHORING SYSTEM.
13. CONTRACTOR IS RESPONSIBLE FOR PROPER DISPOSAL (HAULED OFFSITE) OF MATERIALS.



OWNER/CONTRACTOR TO COORDINATE WITH ALL UTILITY PROVIDERS TO REMOVE/RELOCATE UTILITIES AS NEEDED THROUGHOUT PROJECT AREA.

REMOVE EXISTING SIGN

INSTALL 20'x30' ROCK CONSTRUCTION ENTRANCE (SEE DETAIL ON SHEET 4.0)

INSTALL #518 LFT OF SILT FENCE (TYP. WHERE SHOWN) (SEE DETAIL ON SHEET 4.1)

REMOVE EXISTING WATER LINE

REMOVE EXISTING STAIRS (REFER TO ARCHITECTURAL)

REMOVE EXISTING CONCRETE SLAB

REPLACE EXISTING STRUCTURE & FIELD VERIFY CONNECTIONS FROM BUILDING

EXISTING FIRE DEPT. HOOK

FLOWABLE FILL CAP AND ABANDONED IN PLACE

WELL ABANDONMENT COORDINATED WITH OWNER AND APPROVED BY HEALTH DEPT.

EXISTING WELLS

EXISTING WATER TANK

EXISTING PUMP HOUSE

EXISTING WELLS/TANK ACCESS ROAD (GRAVEL 16' WIDE)

EXISTING GRAVEL DRIVE

EXISTING WAREHOUSE

PROPOSED STOCK PILE AREA

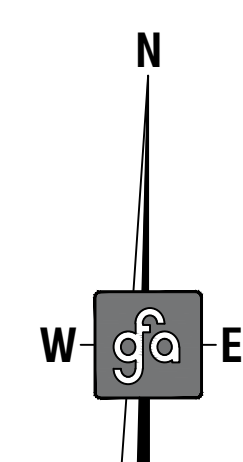
10' SIDE SETBACK

25' BEAR SETBACK

REMOVE/RELOCATE UTILITY POLE DURING CONSTRUCTION

REMOVE/RELOCATE UTILITY POLE DURING CONSTRUCTION

INSTALL 20'x30' ROCK CONSTRUCTION ENTRANCE (SEE DETAIL ON SHEET 4.0)



GRAPHIC SCALE: 1 inch = 40 feet  
0 20 40 80 120

**Legend**

⊙ TANK COVER	N. NORTH
⊙ ELECTRICAL PANEL	S. SOUTH
⊙ GUARD POST	E. EAST
⊙ FLAG POLE	W. WEST
⊙ FLOOD LIGHT	° DEGREES
⊙ CATCH BASIN	' FEET OR MINUTES
⊙ TEST LEAD	" INCHES OR SECONDS
⊙ LIGHT POLE	Sq. SQUARE
⊙ CURB STOP	FL. FEET
⊙ MANHOLE	Vol. VOLUME
⊙ ELEC. TRANSFORMER	P. PAGE
⊙ FIRE HYDRANT	C. CALCULATED
⊙ MAILBOX	R. RECORD
⊙ SIGN	R/W RIGHT OF WAY
⊙ UTILITY POLE	C/L CENTERLINE
⊙ TELE. RISER	T. TITLE
⊙ FOUND IRON	
⊙ FOUND MONUMENT	
⊙ GOVERNMENT CORNER	
⊙ SOIL BORING	
	⊙ PROPOSED TREES (TO BE DETERMINED)
	⊙ PROPOSED DRAINAGE SWALE
█ EXISTING CONCRETE	⊙ PROPOSED LANDSCAPING TO MEET TOWNSHIP REQUIREMENTS
█ EXISTING ASPHALT	⊙ PROPOSED CONCRETE
█ EXISTING GRAVEL	█ PROPOSED ASPHALT
█ PROPOSED BUILDING ADDITIONS	█ PROPOSED GRASS PAVERS
█ PROPOSED CRUSHED STONE	

**Construction Notes**

<b>1</b> ASPHALT PAVING DETAIL (SEE DETAIL ON SHEET 4.0)	<b>16</b> PROPOSED SUBMERSIBLE SAN. SEWER PUMP STATION & VALVE MANHOLE (SEE SHEET 4.4)
<b>2</b> INSTALL CONCRETE CURBED SIDEWALK (SEE DETAIL ON SHEET 4.1)	<b>17</b> CONCRETE WALK DETAIL (SEE DETAIL ON SHEET 4.0)
<b>3</b> INSTALL CONCRETE CURB & GUTTER (SEE DETAIL ON SHEET 4.0)	<b>18</b> RETAINING WALL (DESIGNED BY OTHERS)
<b>4</b> INSTALL THICKENED CONCRETE SLAB (SEE DETAIL ON SHEET 4.0)	<b>19</b> GRASS PAVERS (EMERGENCY/MAINTENANCE ACCESS)
<b>5</b> LAYOUT FOR STANDARD AND ACCESSIBLE PARKING SPACES (SEE DETAIL ON SHEET 4.0)	<b>20</b> EMERGENCY/MAINTENANCE ACCESS GATE (SEE DETAIL ON SHEET 4.0)
<b>6</b> ENCLOSED DUMPSTER & RECYCLE BIN AREA W/6" HIGH SOLID SCREEN (SEE DETAIL ON SHEET 4.0)	<b>21</b> GRASS COVERED OVERFLOW EMPLOYEE PARKING
<b>7</b> CONCRETE LOADING DOCK/RAMP (SEE SHEET 4.3)	<b>22</b> SNOW STORAGE
<b>8</b> INSTALL BARRIER FREE RAMP	<b>23</b> FIRE DEPT. HOOK UP
<b>9</b> FREESTANDING CONCRETE LANDSCAPE WALL	<b>24</b> DRAINAGE SWALE (SEE DETAIL ON SHEET 4.0)
<b>10</b> INSTALL SIGN ON BOTH SIDES OF CONCRETE LANDSCAPE WALL MEETING TOWNSHIP REQUIREMENTS (SEE DETAIL ON SHEET 4.0)	<b>25</b> ASPHALT SPILLWAY (SEE DETAIL ON SHEET 4.0)
<b>11</b> EXISTING EARTHEN BERM 4' MAX POND AND RIP-RAP SPILLWAY DEPTH, WITH SLOW RELEASE (S TOTAL, SEE SHEET C3.3)	<b>26</b> BOLLARD (TYP. WHERE SHOWN) (SEE DETAIL ON SHEET 4.0)
<b>12</b> PATIO CANOPY	<b>27</b> FUTURE SHADE STRUCTURE (DESIGNED BY OTHERS)
<b>13</b> GRAVEL PAVING (SEE DETAIL ON SHEET 4.0)	<b>28</b> GAS & TRANSFORMER PAD (DESIGNED BY OTHERS)
<b>14</b> CHIP STONE WITH INTERMITTENT CONCRETE PLANKS / PER ARCHITECTURAL PLANS	<b>29</b> GAS FIRE PIT (DESIGNED BY OTHERS)
<b>15</b> CHIP STONE	<b>30</b> SILO & SILO FOOTINGS (DESIGNED BY OTHERS)
	<b>31</b> GAS METER BANK LAYOUT & DETAILS (DESIGN & SPECIFICATIONS BY OTHERS)
	<b>32</b> COOLING TOWER PAD (DESIGNED BY OTHERS)

**Project Schedule**

TRAVERSE CITY WHISKEY COMPANY IS EXPECTED TO START CONSTRUCTION SPRING 2024, WITH COMPLETION OF PROJECT WINTER 2025.

**Land Use & Parking Data**

**PROPOSED OFFICES:**  
GROSS FLOOR AREA: 5,041 SQ. FT.  
GROSS LEASABLE FLOOR AREA: 2,989 SQ. FT.  
REQUIRED NUMBER OF PARKING SPACES:  
1 SPACE FOR EVERY 150 SQ. FT. OF LEASABLE FLOOR AREA DIVIDED BY SHARED PARKING = 20 SPACES REQUIRED

**PROPOSED VISITOR'S CENTER:**  
GROSS FLOOR AREA: 10,007 SQ. FT.  
REQUIRED NUMBER OF PARKING SPACES:  
1 SPACE FOR EVERY 200 SF. = 55 SPACES

**PROPOSED TASTING ROOM:**  
GROSS FLOOR AREA: 1,917 SQ. FT.  
MAXIMUM NUMBER OF OCCUPANTS, INCLUDING EMPLOYEES: 105  
REQUIRED NUMBER OF PARKING SPACES:  
1 SPACE FOR EVERY 3 PEOPLE ALLOWED BY OCCUPANCY PERMIT = 35 SPACES

**DISTILLERY/LIGHT INDUSTRIAL:**  
GROSS FLOOR AREA: 43,647 SQ. FT.  
REQUIRED NUMBER OF PARKING SPACES:  
5 SPACES PLUS 1 PER EMPLOYEE ON LARGEST SHIFT  
5+20 EMPLOYEES = 25 SPACES REQUIRED

**TOTAL:**  
TOTAL SPACES REQUIRED FOR SITE: 135  
TOTAL SPACES PROVIDED: 135

STANDARD PARKING SPACE SIZE: 9' WIDE BY 18' DEEP  
BARRIER FREE PARKING AND LOADING SPACES PROVIDED: 8' X 18'  
MINIMUM MANEUVERING LANE WIDTH: 24' (PROVIDED)

SNOW STORAGE: ±72,661 SQ. FT. PARKING/100 X 10 = ±7,266 SQ. FT. REQ'D  
±13,886 SQ. FT. AVAILABLE

**Site Data**

**PROPERTY OWNER:** TWC HOLDING COMPANY LLC  
13975 S. ROBINSON RD.  
TRAVERSE CITY, MI 49684

**PARCEL ADDRESS:** TWC HOLDING COMPANY LLC  
9440 S. CENTER HWY.  
TRAVERSE CITY, MI 49684

**PARCEL INFORMATION:** AGRICULTURAL-RURAL DISTRICT (A-R) MAX. STRUCTURE BUILDING HEIGHT: 35'

**PROPERTY TAX NO:** 45-004-008-009-00 & 45-004-008-010-40

**SEC. TOWNSHIP RANGE:** 8, T28N, R11W

**PARCEL SIZE:** 009-00: 3.83 AC. (GROSS)  
010-40: 27.56 AC. (GROSS)  
27.23 AC. (NET)

**VARD. SETBACKS:**  
FRONT: 50'  
SIDE: 10'  
REAR: 25'

**General Notes**

- DEVELOPMENT OF THIS SITE SHALL BE IN ACCORDANCE WITH STATE, COUNTY AND TOWNSHIP REQUIREMENTS.
- DIMENSIONS AND/OR COORDINATES ARE TO BACK OF CURB, UNLESS OTHERWISE NOTED.
- BUILDING SLABS, UNDERBED THICKNESS AND LOCATIONS ARE SHOWN FOR REFERENCE. VERIFY WITH ARCHITECTURAL DRAWINGS.
- SITE LIGHTING SHALL MEET LEELELANAU COUNTY AND ELMWOOD TOWNSHIP REQUIREMENTS, DIRECTED AWAY FROM ADJACENT ROADWAYS AND PROPERTIES.
- SIGNAGE SHALL MEET LEELELANAU COUNTY AND ELMWOOD TOWNSHIP REQUIREMENTS, FOR TYPE, SIZE AND LOCATION. SEE ARCHITECTURAL PLANS.
- VERIFY FINAL BUILDING DIMENSIONS WITH ARCHITECTURAL PLANS.
- EXCESS SNOW TO BE TRUCKED OFF-SITE AS NECESSARY. EXCESS SNOW WILL NOT BE STORED IN THE VICINITY OF DRIVEWAY ENTRANCES TO PUBLIC ROADS, WHERE SNOW BANK HEIGHTS WILL BE MAINTAINED FOR CLEAR VISION.
- REFER TO RESPECTIVE ELECTRICAL, MECHANICAL, PLUMBING PLANS FOR SITE UTILITY TERMINATIONS INTO BUILDING.
- CONTRACTOR SHALL CONSTRUCT WELL AND ON-SITE SEWER/PUMP STATION IN COMPLIANCE WITH LEELELANAU HEALTH DEPARTMENT REQUIREMENTS.

**Impact on Existing Infrastructure Statement**

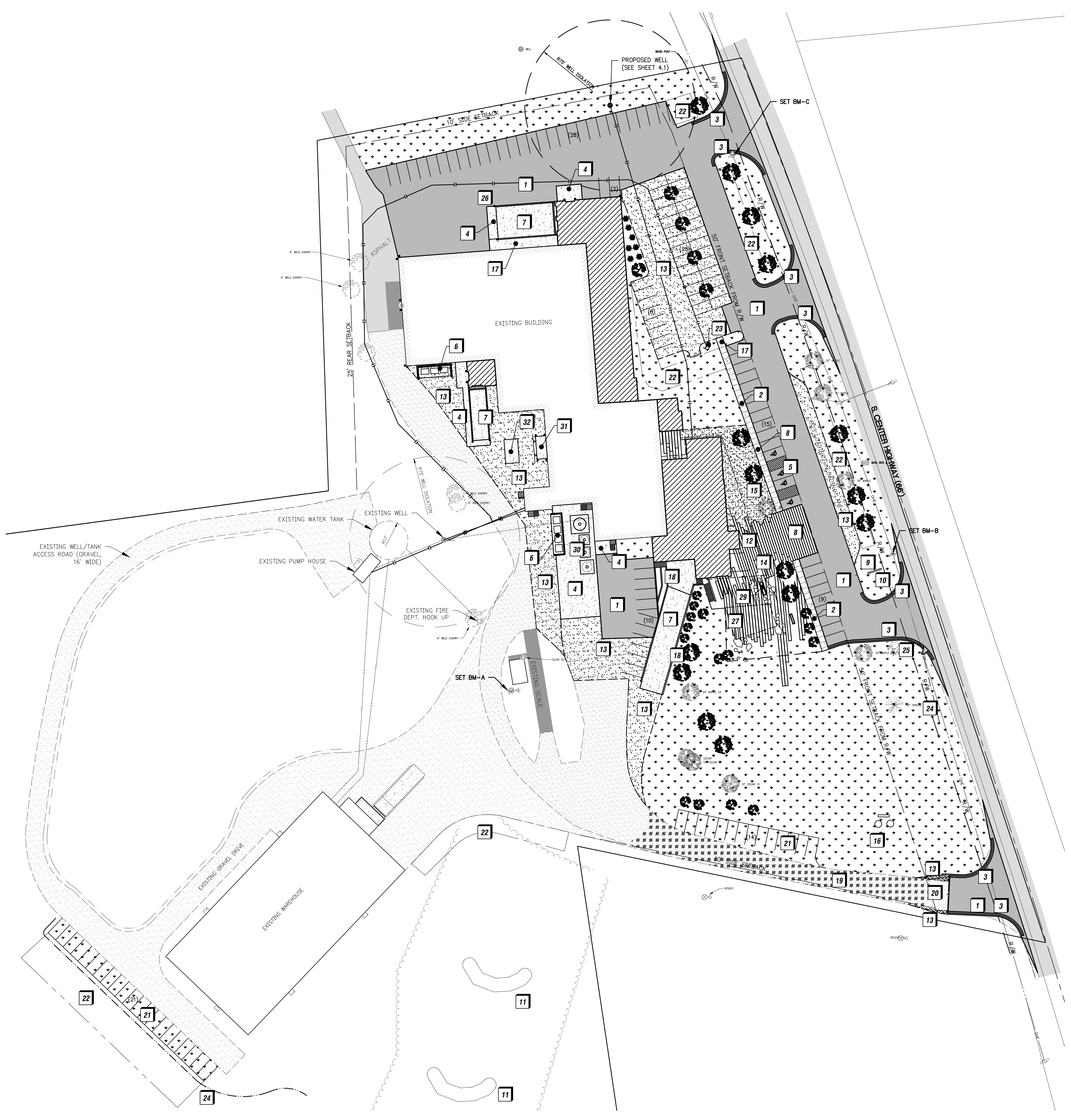
THE PROPOSED BUILDING ADDITIONS ARE LOCATED ON A SITE UPON WHICH COMMERCIAL/AGRICULTURAL ACTIVITY HAS TAKEN PLACE. THE SITE CURRENTLY HAS 4 DRIVEWAYS, WHICH WILL BE REDUCED TO 3 DRIVEWAYS PER ATTACHED PLANS. THE NUMBER OF VISITORS TO THE SITE WILL INCREASE TRAFFIC ON S. CENTER HIGHWAY SLIGHTLY, AND WILL ACCESS THE SITE VIA COMMERCIAL ENTRANCES MEETING LEELELANAU COUNTY ROAD COMMISSION COMMERCIAL REQUIREMENTS. THERE ARE NO IMPACTS TO SCHOOLS. NUMEROUS MATURE TREES HAVE BEEN PRESERVED BY THE PLANS. WITH ADDITIONAL TREES AND PLANTINGS PROPOSED, AT A MINIMUM MEETING ELMWOOD TOWNSHIP REQUIREMENTS. THE PURPOSE OF THE CLIENT'S DESIGN FOR THE BUILDINGS IS TO TASTEFULLY SHOWCASE THE PROPERTY AND FACILITY AS A TOURISM DESTINATION AND PROVIDE IMPROVED VIEWS ONTO AND FROM THE PROPERTY. GROUNDS WILL BE MAINTAINED.

**Benchmarks**

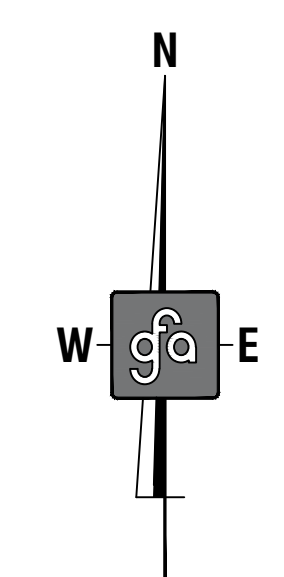
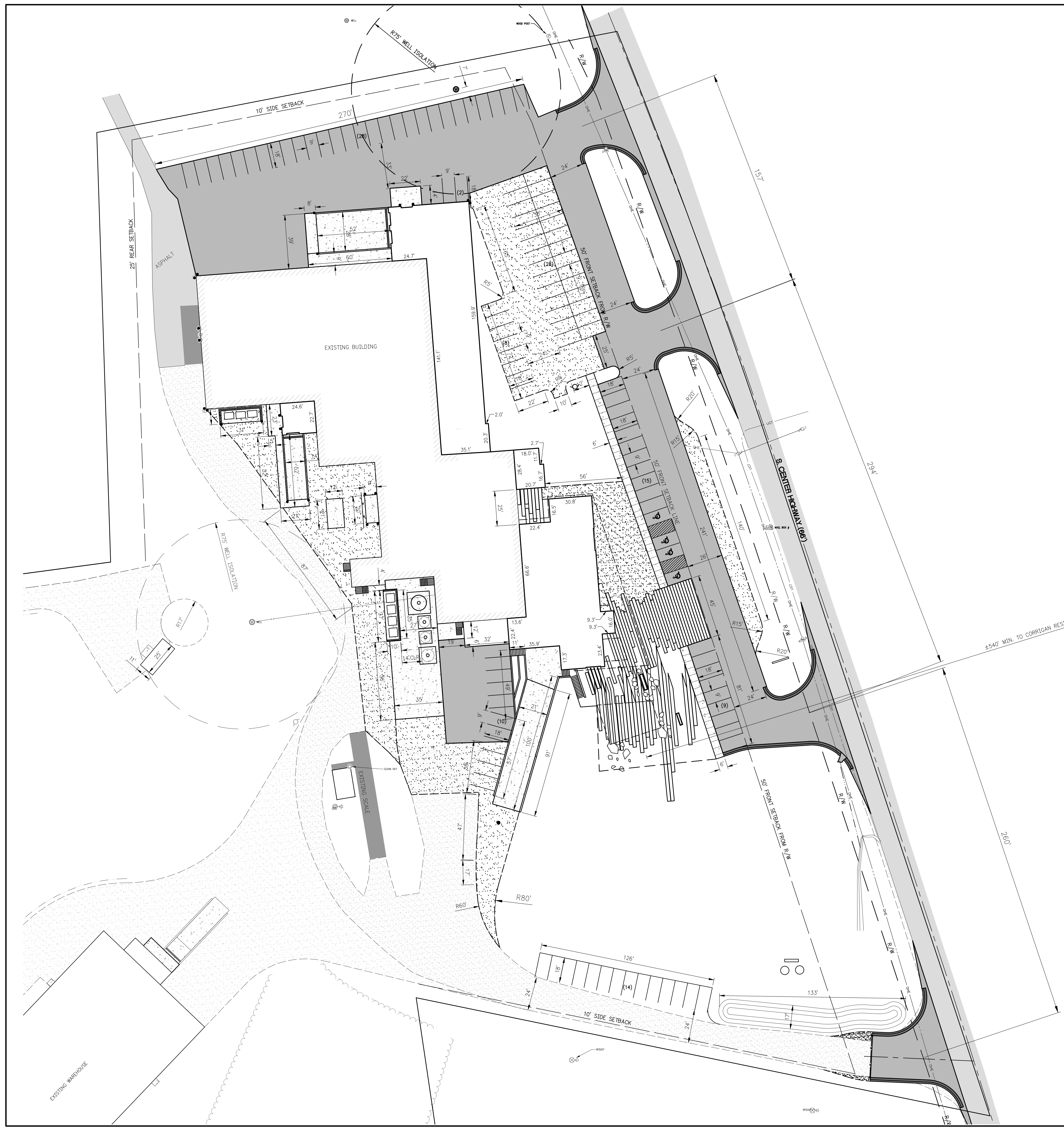
SET BM - A  
SET SPIKE IN POWER POLE  
ELEV.=830.93

SET BM - B  
SET SPIKE IN POWER POLE  
ELEV.=839.71

SET BM - C  
SET SPIKE IN POWER POLE  
ELEV.=840.20





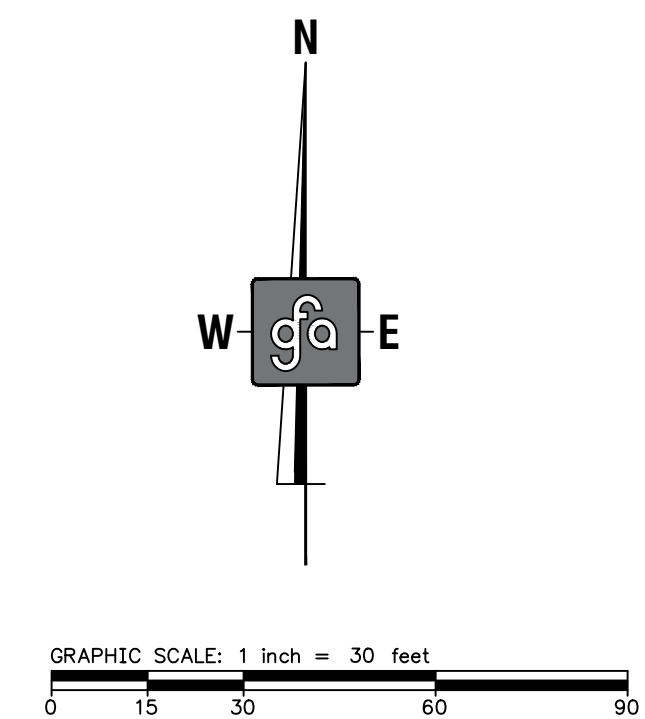


GRAPHIC SCALE: 1 inch = 30 feet  
 0 15 30 60 90

Legend

⊙ TANK COVER	N. NORTH	□ PROPOSED CONCRETE
⊙ ELECTRICAL PANEL	S. SOUTH	▨ PROPOSED ASPHALT
⊙ GUARD POST	E. EAST	▨ PROPOSED CRUSHED STONE
⊙ FLAG POLE	W. WEST	▨ EXISTING CONCRETE
⊙ FLOOD LIGHT	° DEGREES	▨ EXISTING ASPHALT
⊙ CATCH BASIN	' FEET OR MINUTES	▨ EXISTING GRAVEL
⊙ TEST LEAD	" INCHES OR SECONDS	
⊙ LIGHT POLE	Sq. SQUARE	
⊙ CURB STOP	FL. FEET	
○ MANHOLE	Vol. VOLUME	
⊙ ELEC. TRANSFORMER	P. PAGE	
⊙ FIRE HYDRANT	C. CALCULATED	
⊙ MAILBOX	R. RECORD	
⊙ SIGN	R/W. RIGHT OF WAY	
⊙ UTILITY POLE	C/L. CENTERLINE	
⊙ TELE RISER	T. TITLE	
⊙ FOUND IRON		
⊙ FOUND MONUMENT		
⊙ GOVERNMENT CORNER		
⊙ SOIL BORING		

EXISTING HOME  
 9506 S. NOTTINGHAM DR.



**Legend**

⊙	TANK COVER	N	NORTH
⊙	ELECTRICAL PANEL	S	SOUTH
⊙	GUARD POST	E	EAST
⊙	FLAG POLE	W	WEST
⊙	FLOOD LIGHT	°	DEGREES
⊙	CATCH BASIN	'	FEET OR MINUTES
⊙	TEST LEAD	"	INCHES OR SECONDS
⊙	LIGHT POLE	Sq.	SQUARE
⊙	CURB STOP	FL	FEET
⊙	MANHOLE	Vol.	VOLUME
⊙	ELEC. TRANSFORMER	P.	PAGE
⊙	FIRE HYDRANT	C	CALCULATED
⊙	MAILBOX	R	RECORD
⊙	SIGN	R/W	RIGHT OF WAY
⊙	UTILITY POLE	C/L	CENTERLINE
⊙	TELE. RISER	T	TITLE
⊙	FOUND IRON		
⊙	FOUND MONUMENT		
⊙	GOVERNMENT CORNER		
⊙	SOIL BORING		
▨	EXISTING CONCRETE	▨	PROPOSED LANDSCAPING TO MEET TOWNSHIP REQUIREMENTS
▨	EXISTING ASPHALT	▨	PROPOSED CONCRETE
▨	PROPOSED CRUSHED STONE	▨	PROPOSED ASPHALT
---	EXISTING CONTOURS	---	PROPOSED DRAINAGE SWALE
---	PROPOSED CONTOURS	---	PROPOSED DRAINAGE FLOW
⊙	INLET PROTECTION-FABRIC DROP	⊙	PROPOSED CATCH BASIN
		⊙	PROPOSED STORM MANHOLE

**Grading Notes**

1	SEE SHEET 3.3 FOR GRADING PLAN	3	SEE SHEET 3.5 FOR GRADING PLAN
2	SEE SHEET 3.4 FOR GRADING PLAN	4	SEE SHEET 3.6 FOR GRADING PLAN

**General Notes**

- ALL CURB GRADES ARE AT BUTTERFLY GRADE UNLESS OTHERWISE DESIGNATED.
- COORDINATE DOWNSPOUT AND FOOTING DRAIN COLLECTION SYSTEM WITH ARCHITECTURAL PLANS AND CONNECT TO ON SITE STORM SEWER AND/OR DRY WELLS.
- SITING CONTRACTOR SHALL GRADE BUILDING PAD AREA TO 4" BELOW FFL GRADE WITHIN BUILDING LIMITS. BACKFILL MATERIAL SHALL BE CLEAN GRANULAR FILL FROM DR-SITE EXCAVATIONS. COORDINATE FILL MATERIAL PLACEMENT WITH SITE ENGINEER FOR CONCURRENCE.
- ANNUAL INSPECTIONS OF ALL BASINS SHALL BE COMPLETED TO VERIFY BASINS ARE FUNCTIONING PROPERLY.

**Grading Legend**

---XXX.XX T/WALL	Proposed Top of Wall Elev.
---XXX.XX TA	Proposed Top of Asphalt Elev.
---XXX.XX TC	Proposed Top of Concrete
MATCH EX. XXX.XX TA	Match Existing Top of Asphalt
---XXX.XX	Proposed Ground Elev.
---L.P.	Proposed Low Point Breakline
---H.P.	Proposed High Point Breakline

**Michigan Unified Keying System**

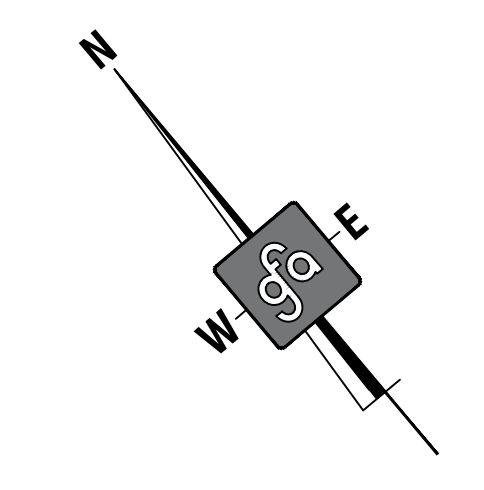
5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE. STABILIZES SOIL, THUS MINIMIZING EROSION. PROMPTS RUNOFF TO VEGETATIVE COVER, REDUCING RUNOFF VOLUME. SHOULD INCLUDE PREPARED TOPSOIL BED.
6	SEEDING W/ MULCH OR MATING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER. EFFECTIVE FOR DRAINAGEWAYS W/ LOW VELOCITY. EASILY PLACED IN SMALL QUANTITIES BY UNEXPERIENCED PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL BED.
57	GEOTEXTILE SILT FENCE	USES GEOTEXTILE AND POSTS OR BALES. MAY BE CONSTRUCTED OR PREPACKAGED. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

**Soil Erosion & Storm Water Control**

- THE CONTRACTOR IS ADVISED THAT ALL SOIL EROSION MEASURES AND STORM WATER FACILITIES SHALL BE CONSTRUCTED AT THE EARLIEST FEASIBLE SCHEDULE. NO OTHER CONSTRUCTION ACTIVITIES SHALL PROCEED WHICH DO NOT PHYSICALLY DRAIN TO THESE FACILITIES UNLESS ADDITIONAL TEMPORARY FACILITIES ARE INSTALLED PRIOR TO ACCEPTANCE OF THE PROJECT AS COMPLETE. ALL PERMANENT STORM WATER FACILITIES USED DURING CONSTRUCTION SHALL BE RESTORED TO OPERATE IN THEIR DESIGNED CONDITION AT NO ADDITIONAL COST TO THE PROJECT.
- THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 461 AS AMENDED, WITH THE USE OF SILT FENCE AND OTHER TEMPORARY MEASURES. THE CONTRACTOR SHALL PROTECT THE ADJACENT AREA FROM ACCELERATED EROSION AND SEDIMENTATION FLOWS RESULTING FROM CONSTRUCTION. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES, IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, AT NO ADDITIONAL COST TO THE PROJECT.
- INSTALLATION AND MAINTENANCE OF TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SHOULD ADDITIONAL SOIL EROSION CONTROL MEASURES BE DETERMINED TO BE NECESSARY BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER THEY SHALL BE IN PLACE NO LATER THAN 24 HOURS FROM THE TIME OF NOTIFICATION TO THE GENERAL CONTRACTOR FOR THE PROJECT. IF NOT PLACED IN 24 HOURS OR LESS ALL ON SITE CONSTRUCTION WILL BE HALTED UNTIL SUCH MEASURES ARE INSTALLED AND APPROVED BY EITHER THE SOIL EROSION CONTROL OFFICER OR THE OWNER'S ENGINEER.
- ALL DISTURBED NON-HARD SURFACE AREAS TO BE STABILIZED WITH TOPSOIL, SEED, FERTILIZER AND MULCH. DISTURBED AREAS SHALL BE TOP SOILED TO A DEPTH NOT LESS THAN FOUR (4) INCHES. SLOPES WHICH ARE BETWEEN 3:1 AND 2:1 GRADE SHALL BE SODDED AND STAKED OR RECEIVE SEEDING IN COMBINATION WITH DOUBLE NET, BIODEGRADABLE EROSION CONTROL BLANKET (EXCEL CS-3 OR EQUAL). IN NO CASE SHALL CONSTRUCTED SLOPES IN EXCESS OF 1-1/2:1 BE ALLOWED ON THE PROJECT. CONSTRUCTED SLOPES SHALL NOT EXCEED 2:1 UNLESS SPECIFICALLY APPROVED BY THE ENGINEER. IN WHICH CASE, SLOPES BETWEEN 2:1 AND 1-1/2:1 GRADE SHALL RECEIVE SEEDING IN COMBINATION WITH DOUBLE NET, BIODEGRADABLE EROSION CONTROL BLANKET (EXCEL CC-4 OR EQUAL). ALL SLOPES GREATER THAN 3:1 GRADE AND SUBJECT TO CONCENTRATED FLOWS SHALL RECEIVE PERMANENT TURF REINFORCING MATTING (EXCEL PPS-10 OR EQUAL). INSTALLATION OF EROSION CONTROL BLANKETS AND TURF REINFORCING MATS SHALL BE PER MANUFACTURER'S INSTRUCTIONS. STORM WATER CHANNELS AND BASINS SHALL BE TREATED ACCORDING TO THE DESIGNATION ON THE PLANS AND DETAILS.
- CONTRACTOR SHALL STABILIZE DISTURBED EARTH IMMEDIATELY UPON ESTABLISHMENT OF FINAL GRADE AND SHALL BE SOLELY RESPONSIBLE FOR ESTABLISHMENT OF A HEALTHY STAND OF GRASS PRIOR TO THE ONSET OF COLD WEATHER.
- ALL NEW STORM DRAINAGE PIPE SHALL BE CORRUGATED GALVANIZED STEEL PIPE, HOPE OR APPROVED EQUAL. A MINIMUM OF TWO (2) FEET OF COVER FROM FINISHED ELEVATIONS SHALL BE MAINTAINED OVER ALL STORM DRAIN PIPES.
- ALL DRAINAGE PIPES THAT OUTLET AT GROUND SURFACE SHALL INCLUDE END SECTIONS.
- EXISTING STORM DRAINAGE DITCHES SHALL BE REBUILT IF FILLED IN OR REMOVED DURING CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE, AS REQUIRED, ALL DRAINAGE CULVERTS DAMAGED DURING CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT.
- IF CULVERTS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REUSED IF NOT DAMAGED. IF DAMAGED, THE CULVERT SHALL BE REPLACED WITH NEW. ALL CULVERTS IDENTIFIED HAVE BEEN PLACED ON THE DRAWINGS. SOME CULVERTS MIGHT BE ENCOUNTERED THAT ARE NOT DISCLOSED ON THE PLANS. ALL COSTS ASSOCIATED WITH LOCATING AND REPAIRING/REPLACING ARE INCLUDED IN THE COST OF THE PROJECT.
- ANTICIPATED CONSTRUCTION SEQUENCE:
  - INSTALL TEMPORARY MEASURES
  - STABILIZED CONSTRUCTION ENTRANCE, SILT FENCING WERE REQUIRED.
  - PERFORM CLEARING, GRUBBING, AND DEMOLITION
  - SITE GRADING
  - CONSTRUCT BUILDING AND PAVING IMPROVEMENTS
  - RESTORE ALL DISTURBED AREAS WITH TOPSOIL, SEED, AND MULCH, UNLESS NOTED OTHERWISE ON LANDSCAPING PLAN.
  - MAINTAIN SITE DURING CONSTRUCTION.
  - REMOVE TEMPORARY SESS MEASURES UPON STABILIZATION

**Benchmarks**

SET BM - A	SET SPIKE IN POWER POLE	ELEV.=830.93
SET BM - B	SET SPIKE IN POWER POLE	ELEV.=839.71
SET BM - C	SET SPIKE IN POWER POLE	ELEV.=840.20



**Legend**

⊙ TANK COVER	N. NORTH
⊙ ELECTRICAL PANEL	S. SOUTH
⊙ GUARD POST	E. EAST
⊙ FLAG POLE	W. WEST
⊙ FLOOD LIGHT	° DEGREES
⊙ CATCH BASIN	' FEET OR MINUTES
⊙ TEST LEAD	" INCHES OR SECONDS
⊙ LIGHT POLE	Sq. SQUARE
⊙ CURB STOP	FL. FEET
⊙ MANHOLE	Vol. VOLUME
⊙ ELEC. TRANSFORMER	P. PAGE
⊙ FIRE HYDRANT	C. CALCULATED
⊙ MAILBOX	R. RECORD
⊙ SIGN	R/W RIGHT OF WAY
⊙ UTILITY POLE	C/L CENTERLINE
⊙ TELE. RISER	T. TITLE
⊙ FOUND IRON	
⊙ FOUND MONUMENT	
⊙ GOVERNMENT CORNER	
⊙ SOIL BORING	
	PROPOSED LANDSCAPING TO MEET TOWNSHIP REQUIREMENTS
EXISTING CONCRETE	PROPOSED CONCRETE
EXISTING ASPHALT	PROPOSED ASPHALT
PROPOSED CRUSHED STONE	PROPOSED DRAINAGE SWALE
EXISTING CONTOURS	PROPOSED DRAINAGE FLOW
PROPOSED CONTOURS	PROPOSED CATCH BASIN
	PROPOSED STORM MANHOLE

**General Notes**

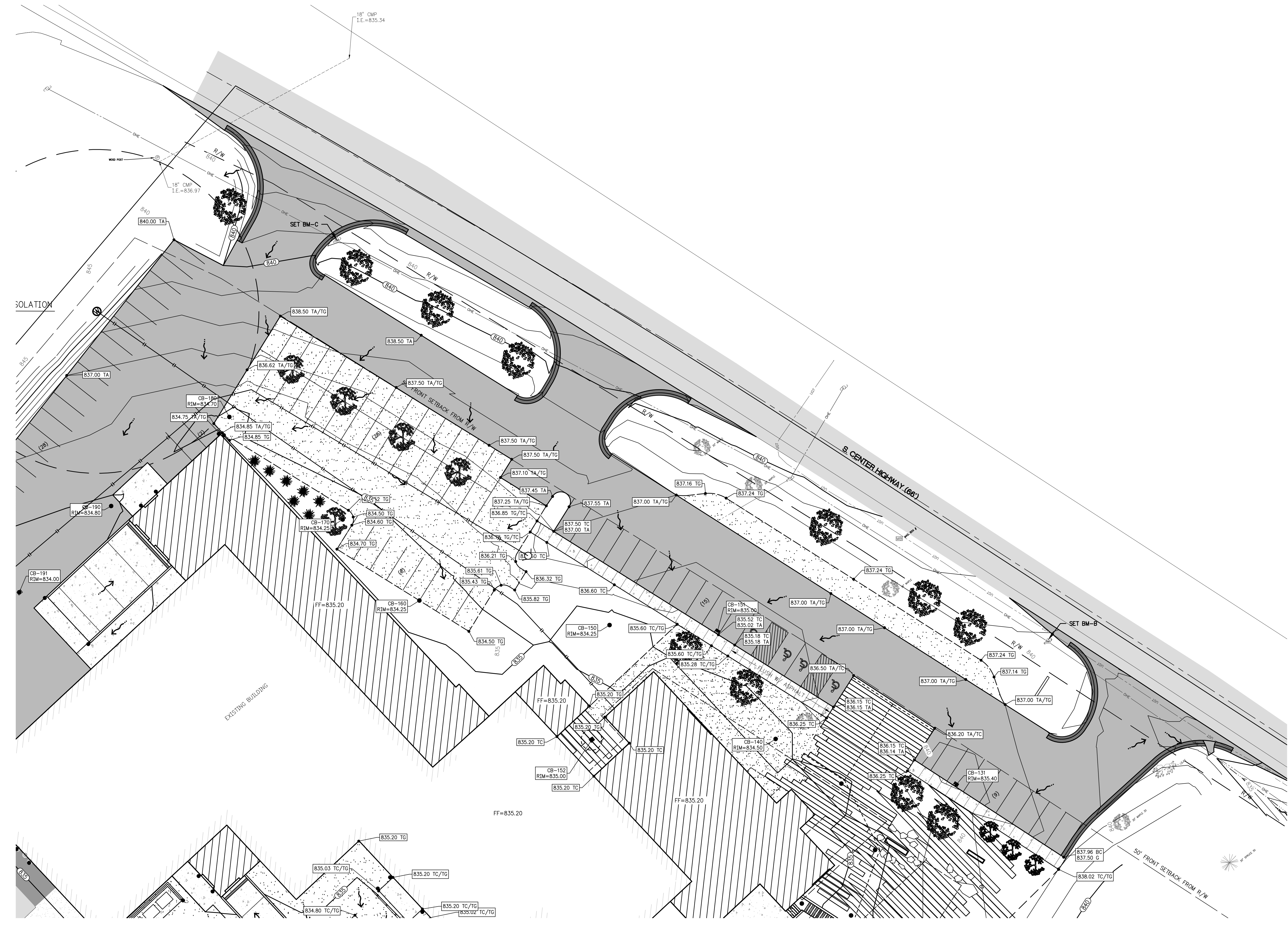
1. ALL CURB GRADES ARE AT BITUMINOUS GRADE UNLESS OTHERWISE DESIGNATED.
2. COORDINATE DOWNSPOUT AND FOOTING GRAIN COLLECTION SYSTEM WITH ARCHITECTURAL PLANS AND CONNECT TO ON SITE STORM SEWER AND/OR DRY WELLS.
3. SITEWORK CONTRACTOR SHALL GRADE BUILDING PAD AREA TO 4" BELOW FFL GRADE WITHIN BUILDING LIMITS. BACKFILL MATERIAL SHALL BE CLEAN GRANULAR FILL FROM ON-SITE EXCAVATIONS. COORDINATE FILL MATERIAL PLACEMENT WITH SITE ENGINEER FOR CONCURRENCE.
4. ANNUAL INSPECTIONS OF ALL BASINS SHALL BE COMPLETED TO VERIFY BASINS ARE FUNCTIONING PROPERLY.

**Grading Legend**

XXXX TA	Proposed Top of Asphalt Elev.
XXXX TC	Proposed Top of Concrete
XXXX TG	Proposed Top of Gravel
L.P.	Proposed Low Point Breakline
H.P.	Proposed High Point Breakline

**Benchmarks**

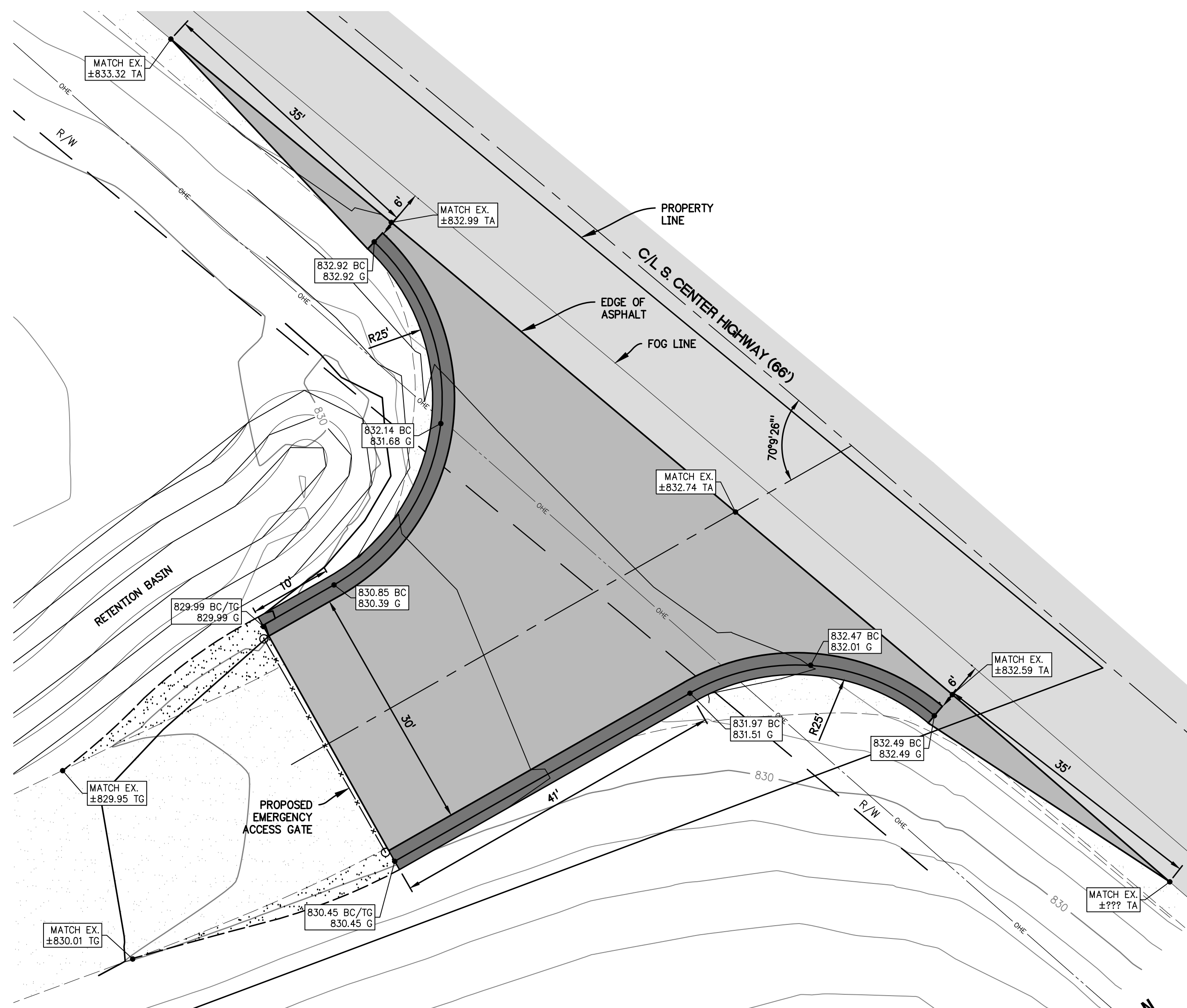
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ELEV.=830.93	
SET BM - B	SET SPIKE IN POWER POLE
ELEV.=839.71	
SET BM - C	SET SPIKE IN POWER POLE
ELEV.=840.20	



18" CMP I.E.=835.34  
18" CMP I.E.=836.37  
18" CMP I.E.=834.00  
18" CMP I.E.=834.25  
18" CMP I.E.=834.50  
18" CMP I.E.=834.75  
18" CMP I.E.=835.00  
18" CMP I.E.=835.25  
18" CMP I.E.=835.50  
18" CMP I.E.=835.75  
18" CMP I.E.=836.00  
18" CMP I.E.=836.25  
18" CMP I.E.=836.50  
18" CMP I.E.=836.75  
18" CMP I.E.=837.00  
18" CMP I.E.=837.25  
18" CMP I.E.=837.50  
18" CMP I.E.=837.75  
18" CMP I.E.=838.00  
18" CMP I.E.=838.25  
18" CMP I.E.=838.50  
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18" CMP I.E.=981.75  
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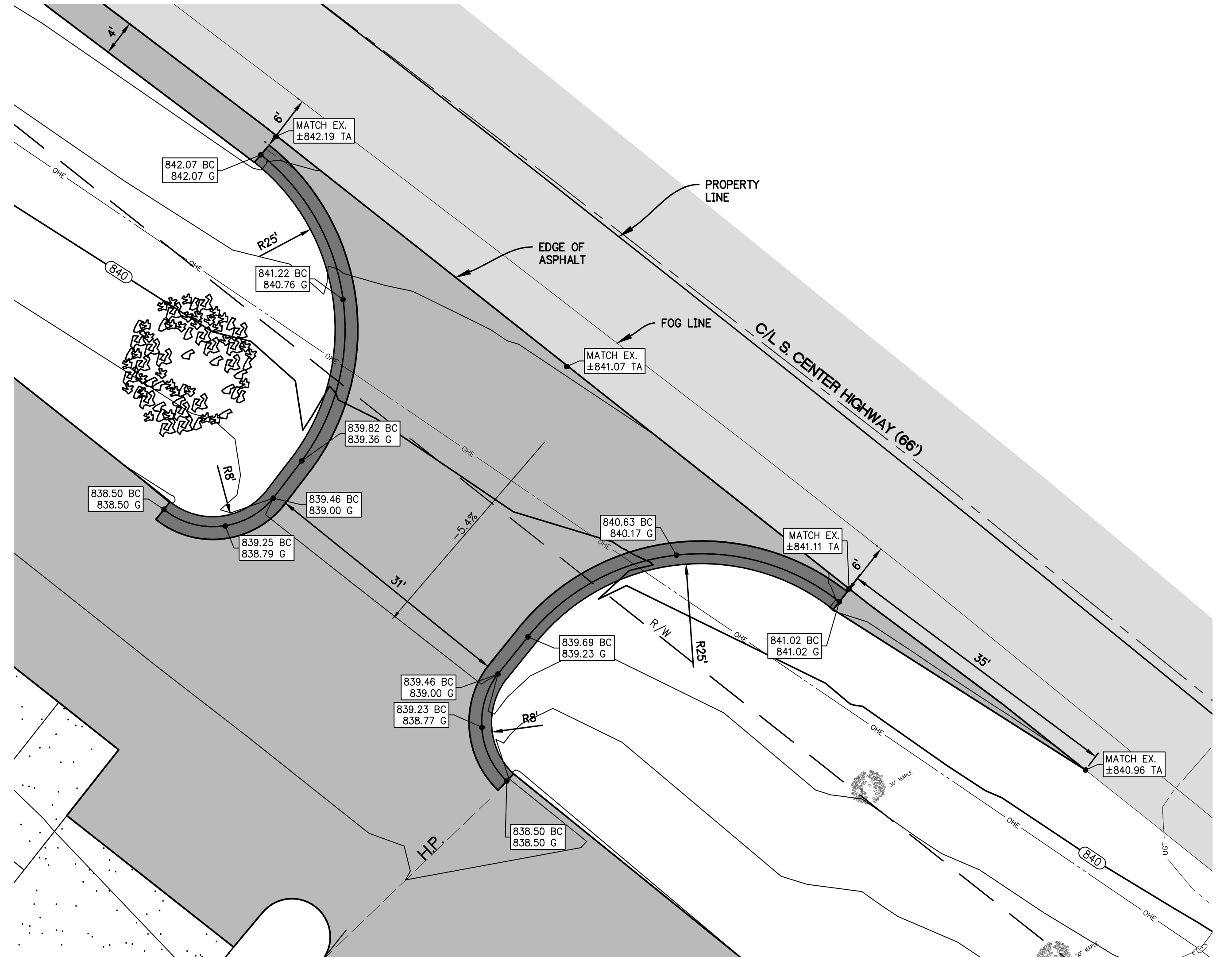




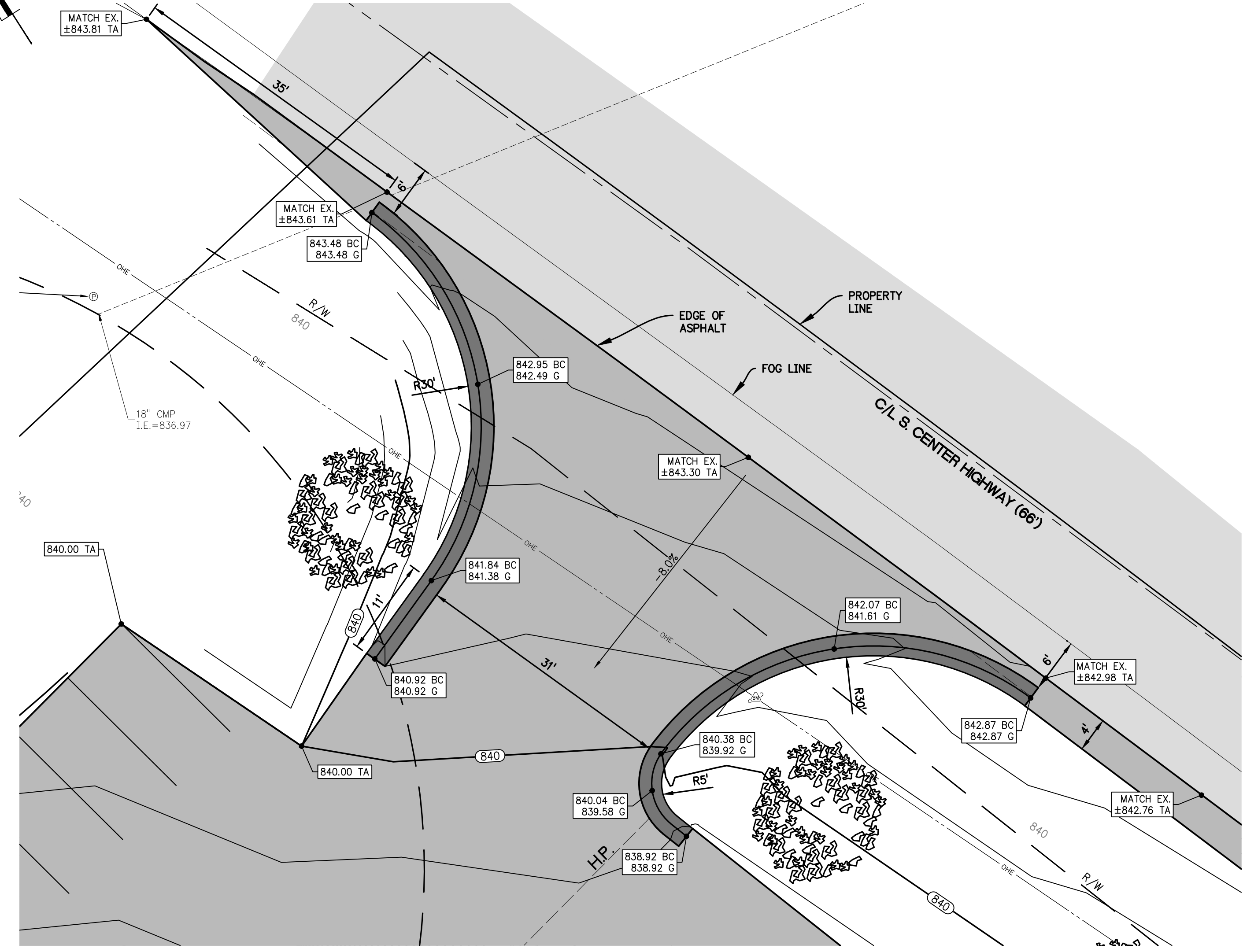
**ENTRANCE #1**  
SCALE: 1"=10'



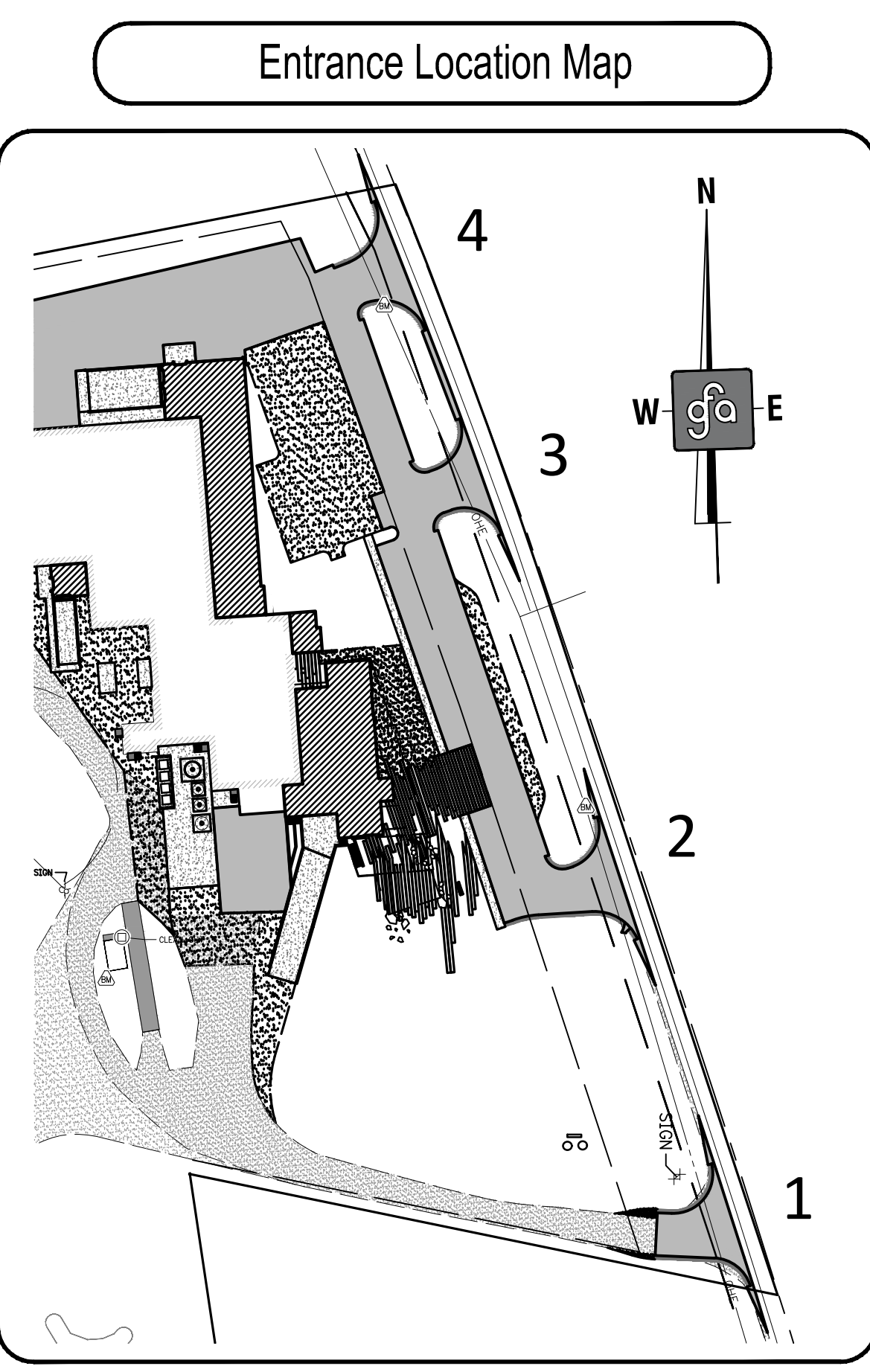
**ENTRANCE #2**  
SCALE: 1"=10'



**ENTRANCE #3**  
SCALE: 1"=10'



**ENTRANCE #4**  
SCALE: 1"=10'



**Grading Legend**

XXXX D.I.	Proposed Ditch Invert
XXXX T/WALL	Proposed Top of Wall Elev.
XXXX TA	Proposed Top of Asphalt Elev.
XXXX TC	Proposed Top of Concrete
XXXX BC	Proposed Back of Curb
XXXX G	Proposed Gutter
MATCH EX XXXXX TA	Match Existing Top of Asphalt
MATCH EX XXXXX TA	Match Existing Top of Asphalt
MATCH EX XXXXX TC	Match Existing Top of Gravel
---	Proposed Low Point Breakline
---	Proposed High Point Breakline

## Stormwater Calculations

THE PROPOSED TCWC PROJECT CONSISTS OF TWO PHASES:

- PHASE 1) DISTILLERY AND TASTING ROOM EXPANSION
- PHASE 2) WAREHOUSE NEW BUILD

STORMWATER RUNOFF CONTROL PLAN DATED 12-06-21 WAS APPROVED BY LEELENAU COUNTY DURING PERMITTING FOR PHASE 2 STARTED PRIOR TO PHASE 1 PERMITTING.

THE FOLLOWING SUMMARIZES THE CALCULATIONS:

DRAINAGE IMPROVEMENTS TO SERVE THESE PROJECTS ARE DESIGNED PER THE LEELENAU COUNTY SSSRC ORDINANCE GUIDELINES AS CONFIRMED WITH THE COUNTY. THE SYSTEM PROVIDES STORM WATER MANAGEMENT FOR BOTH PROJECTS IN THE FINAL CONDITION IN ONE LOCATION. EXISTING AND PROPOSED IMPERVIOUS SURFACES WILL BE CAPTURED AND CONVEYED TO PROPOSED INFILTRATION BASINS WITH LOW-FLOW OUTLETS LOCATED WITHIN THE NATURAL RAVINE LOCATED ON THE SW PART OF THE SITE.

REQUIRED MANAGEMENT VOLUME:

- 1) DISTILLERY AND TASTING ROOM EXPANSION: GUIDELINE B7A, 25YR\_PROP - 2YR\_EXISTING
- 2) WAREHOUSE NEW BUILD PROJECT: GUIDELINE B15, EXCEPT ONLY ONE (1) 100YR EVENT.

HYDROLOGY MODELING AND RUNOFF CALCULATIONS WERE PERFORMED BY GFA USING THE SCS TR-20 METHOD AND HYDROCAD VERSION 10 SOFTWARE.

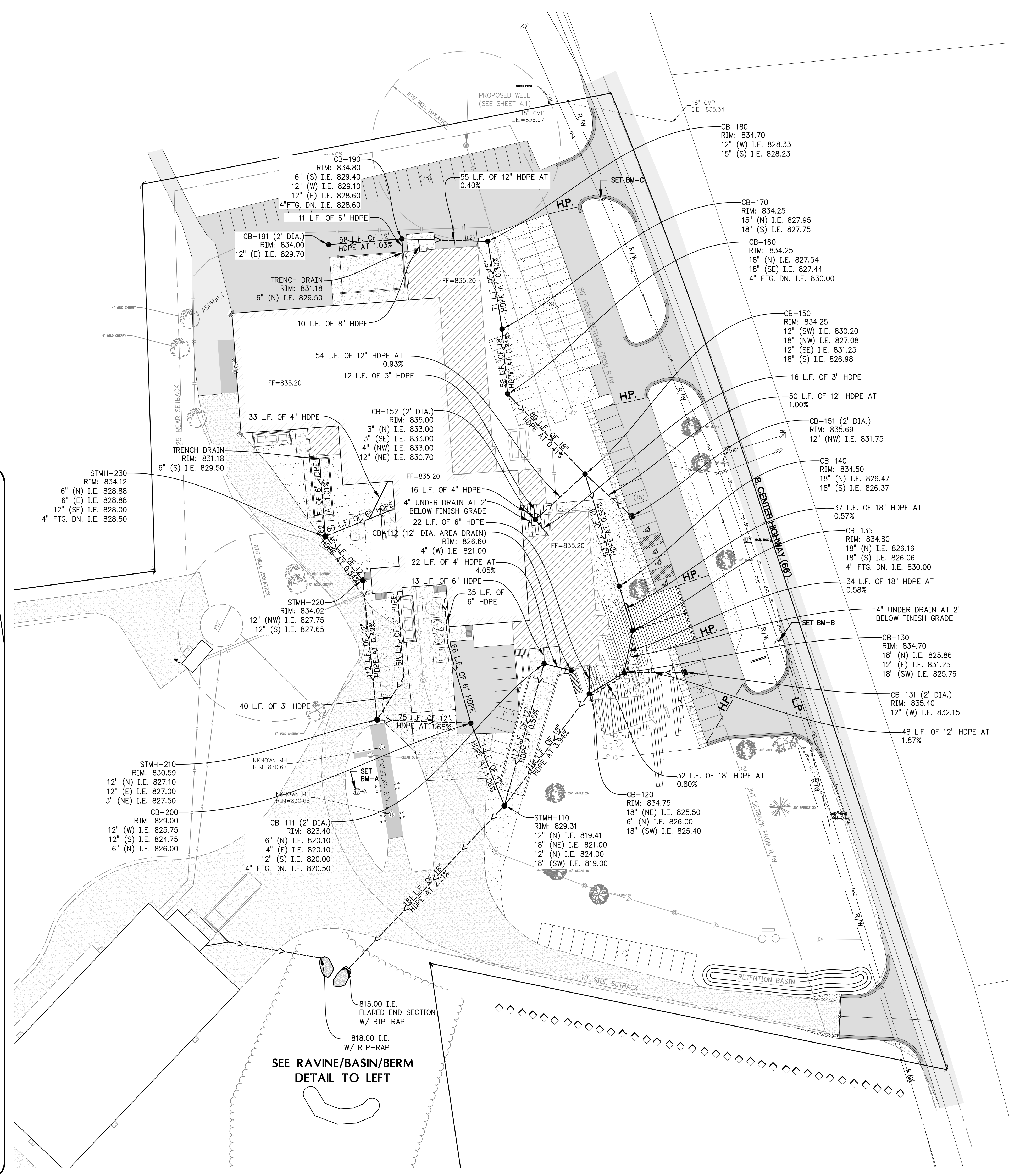
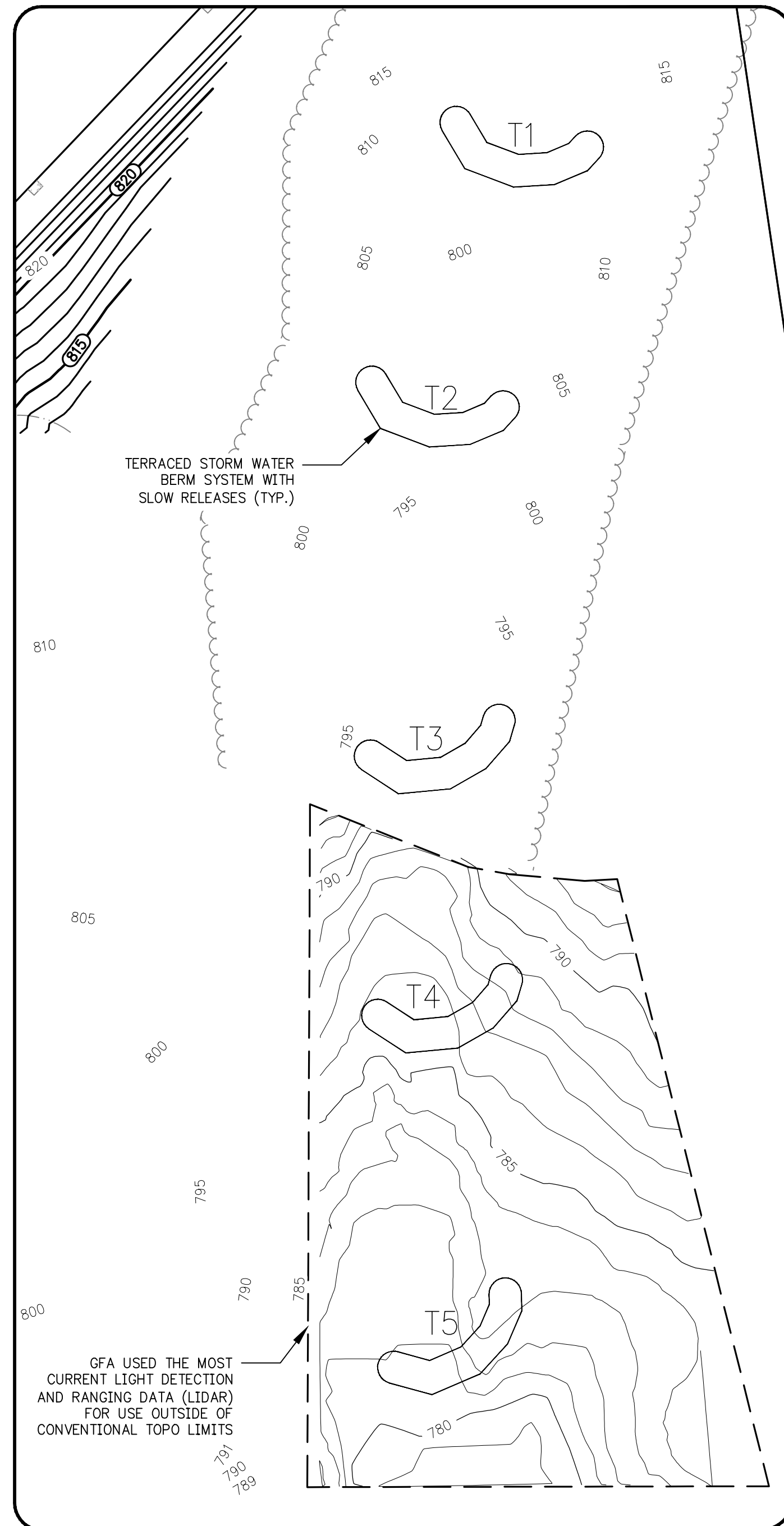
THE PROPOSED STORM WATER INFRASTRUCTURE CAN BE DESCRIBED AS FOLLOWS:

- STORM SEWER SIZED FOR THE 10YR WITH A CHECK ON THE 25YR PEAK EVENTS.
- FIVE (5) TERRACED BERMS, NUMBERED T1 TO T5, PROVIDE INFILTRATION BASINS WITHIN THE EXISTING RAVINE TO THE SW.
- BERMS WILL BE OF EARTHEN MATERIAL, 4-FT MAXIMUM DESIGN DEPTH, 1:3 SIDE SLOPES, WITH RIPRAP STABILIZED EMERGENCY SPILLWAYS, T5 HAS 3' DESIGN DEPTH.
- PRIMARY OUTLET WILL BE INFILTRATION, DESIGN RATE IS 1.5" /HR OVER 24HRS AT 2' DEPTH. USGS SOIL SURVEY REPORTS SOIL BETWEEN 0.57 IN/HR TO 5.95 IN/HR FOR SOILS IN THE AREA. DESIGN ASSUMES NO GROUND WATER WITHIN 4'-FEET OF THE BOTTOM OF EACH BASIN.
- SUPPLEMENTARY LOW-FLOW OUTLET DRIFICE AND PIPING ENSURE DRAINAGE SHOULD INFILTRATION FAIL. DESIGN RATE IS SET TO 24 HOURS MINIMUM DRAIN TIME. T5 WAS EVALUATED AT THE PRE-DEVELOPMENT 2-YEAR RATE.

THE STORM WATER CALCULATION ARE SUMMARIZED BELOW:

AREA NO.	25YR PROP. CF	2YR EXIST. CF	25YR - 2YR. CF	100YR. CF	PROPOSED BASIN	PROPOSED VOLUME, CF
DISTILLERY TASTING ROOM PROJECT						
PHASE 1	54,552	15,482	39,070	N/A	T1 TO T3	42,265
WAREHOUSE PROJECT						
PHASE 2				40,743	T4 TO T5	44,750

## Previously Constructed With Warehouse Permits



## Legend

⊙	TANK COVER	N	NORTH
⊙	ELECTRICAL PANEL	S	SOUTH
⊙	GUARD POST	E	EAST
⊙	FLAG POLE	W	WEST
⊙	FLOOD LIGHT	°	DEGREES
⊙	CATCH BASIN	'	FEET OR MINUTES
⊙	TEST LEAD	"	INCHES OR SECONDS
⊙	LIGHT POLE	Sq.	SQUARE
⊙	CURB STOP	Fl.	FEET
⊙	MANHOLE	Vol.	VOLUME
⊙	ELEC. TRANSFORMER	P.	PAGE
⊙	FIRE HYDRANT	C	CALCULATED
⊙	MAILBOX	R	RECORD
⊙	SIGN	R/W	RIGHT OF WAY
⊙	UTILITY POLE	C/L	CENTERLINE
⊙	TELE. RISER	T	TITLE
⊙	FOUND MONUMENT		
⊙	GOVERNMENT CORNER		
⊙	SOIL BORING		
			PROPOSED LANDSCAPING TO MEET TOWNSHIP REQUIREMENTS
			PROPOSED CONCRETE
			PROPOSED ASPHALT
			PROPOSED CRUSHED STONE
			EXISTING CONTOURS
			PROPOSED DRAINAGE FLOW
			PROPOSED CATCH BASIN
			PROPOSED STORM MANHOLE

## Benchmarks

SET BM - A  
SET SPIKE IN POWER POLE  
ELEV.=830.93

SET BM - B  
SET SPIKE IN POWER POLE  
ELEV.=839.71

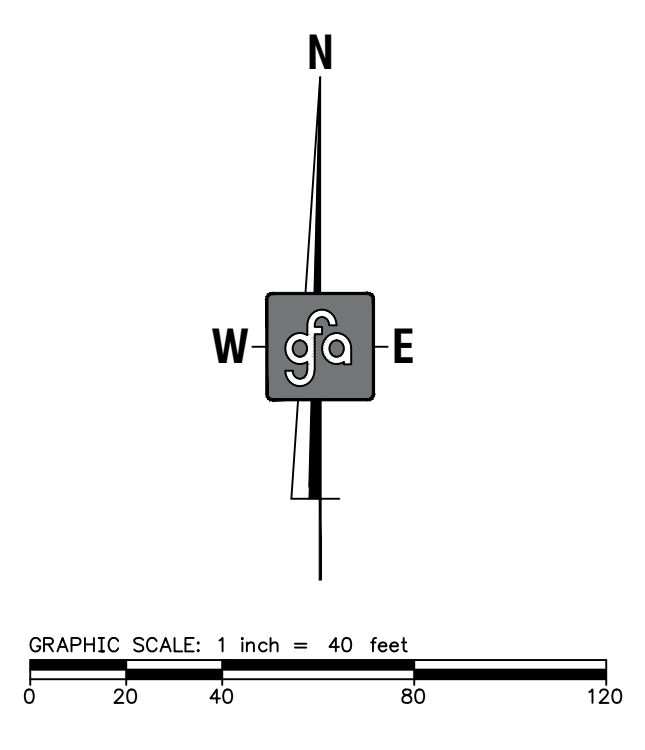
SET BM - C  
SET SPIKE IN POWER POLE  
ELEV.=840.20

## General Notes

1. ALL CURB GRADES ARE AT BITUMINOUS GRADE UNLESS OTHERWISE DESIGNATED.
2. COORDINATE DOWNSPOUT AND FOOTING DRAIN COLLECTION SYSTEM WITH ARCHITECTURAL PLANS AND CONNECT TO ON SITE STORM SEWER AND/OR DRY WELLS.
3. SITEWORK CONTRACTOR SHALL GRADE BUILDING PAD AREA TO 4" BELOW FFL GRADE WITHIN BUILDING LIMITS. BACKFILL MATERIAL SHALL BE CLEAN GRANULAR FILL FROM ON-SITE EXCAVATIONS. COORDINATE FILL MATERIAL PLACEMENT WITH SITE ENGINEER FOR CONCURRENCE.
4. ANNUAL INSPECTIONS OF ALL BASINS SHALL BE COMPLETED TO VERIFY BASINS ARE FUNCTIONING PROPERLY.
5. ALL STORM WATER AND SANITARY SEWER LINES SHALL MAINTAIN 10' HORIZONTAL AND 18" FROM POTABLE WATER LINES.

## Casting Cover Schedule

STRUCTURE	COVER TYPE
MH:110, 210, 215, 220	EJIW 1020 TYPE A (MH ROUND SOLID COVER)
CB:160, 180, 190, 191, 200, 111	EJIW 1020 TYPE M1 (CB ROUND)
CB:120, 130, 135, 140, 152	EJIW 1040 TYPE M3 (CB, ADA ROUND)
CB:150, 170	EJIW 1020 TYPE N1 (CB, BEEHIVE)



### Legend

⊙ TANK COVER	N. NORTH	⊙ PROPOSED LANDSCAPING TO MEET TOWNSHIP REQUIREMENTS
⊙ ELECTRICAL PANEL	S. SOUTH	▨ PROPOSED CONCRETE
⊙ GUARD POST	E. EAST	▨ PROPOSED ASPHALT
⊙ FLAG POLE	W. WEST	▨ PROPOSED CRUSHED STONE
⊙ FLOOD LIGHT	DEGREES	⤴ PROPOSED DRAINAGE FLOW
⊙ CATCH BASIN	FEET OR MINUTES	⊙ PROPOSED CATCH BASIN
⊙ TEST LEAD	INCHES OR SECONDS	● PROPOSED STORM MANHOLE
⊙ LIGHT POLE	Sq. SQUARE	
⊙ CURB STOP	FL. FEET	
⊙ MANHOLE	Vol. VOLUME	
⊙ ELEC. TRANSFORMER	P. PAGE	
⊙ MAILBOX	R. RECORD	
⊙ SIGN	R/W RIGHT OF WAY	
⊙ UTILITY POLE	C/L CENTERLINE	
⊙ TELE. RISER	T. TITLE	
⊙ FOUND IRON		
⊙ FOUND MONUMENT		
⊙ GOVERNMENT CORNER		
⊙ SOIL BORING		
▨ EXISTING CONCRETE		
▨ EXISTING ASPHALT		
▨ PROPOSED CRUSHED STONE		
⤴ EXISTING CONTOURS		
⤴ PROPOSED CONTOURS		

### Benchmarks

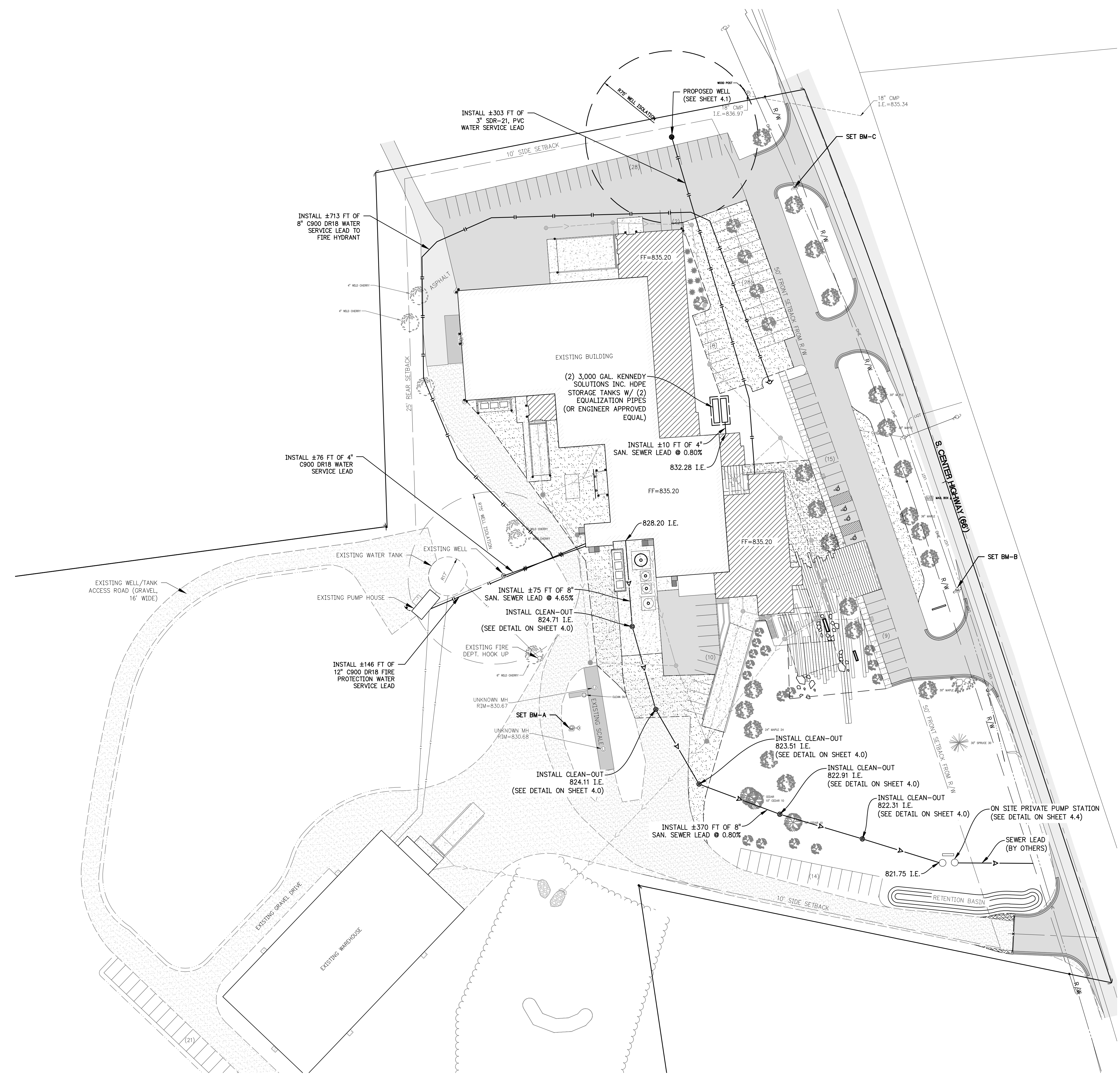
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SET SPIKE IN POWER POLE  
ELEV.=830.93

SET BM - B  
SET SPIKE IN POWER POLE  
ELEV.=839.71

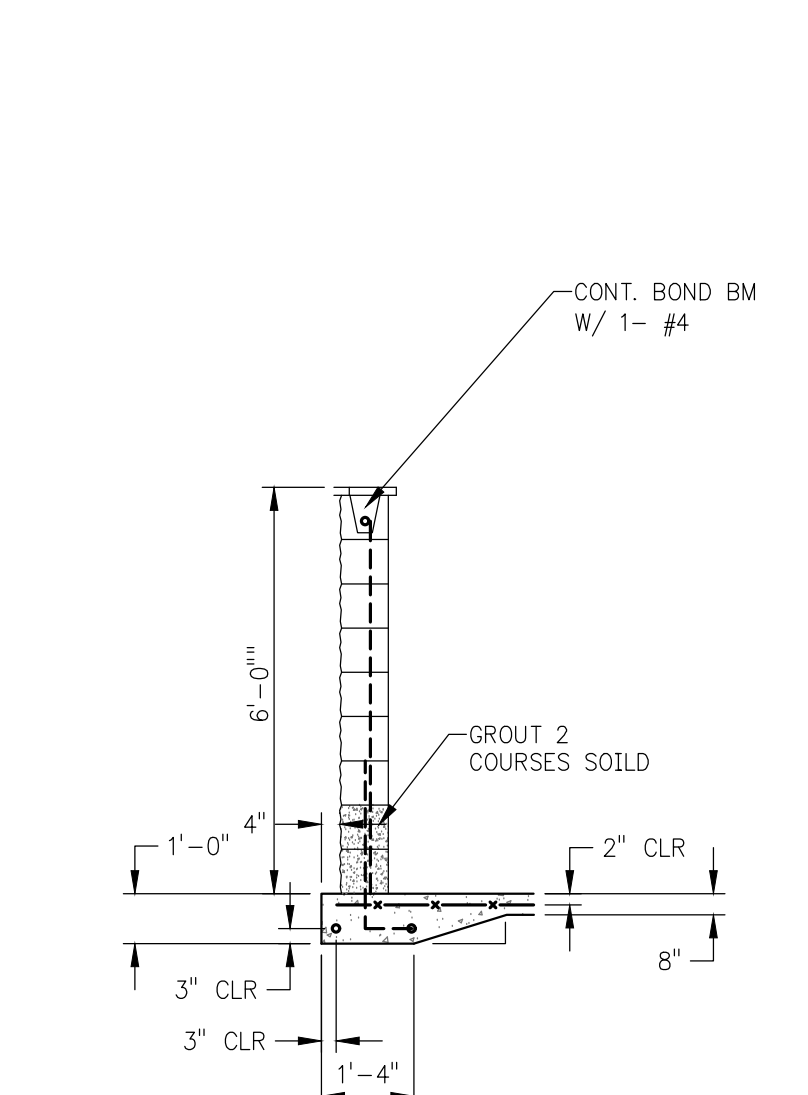
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### General Notes

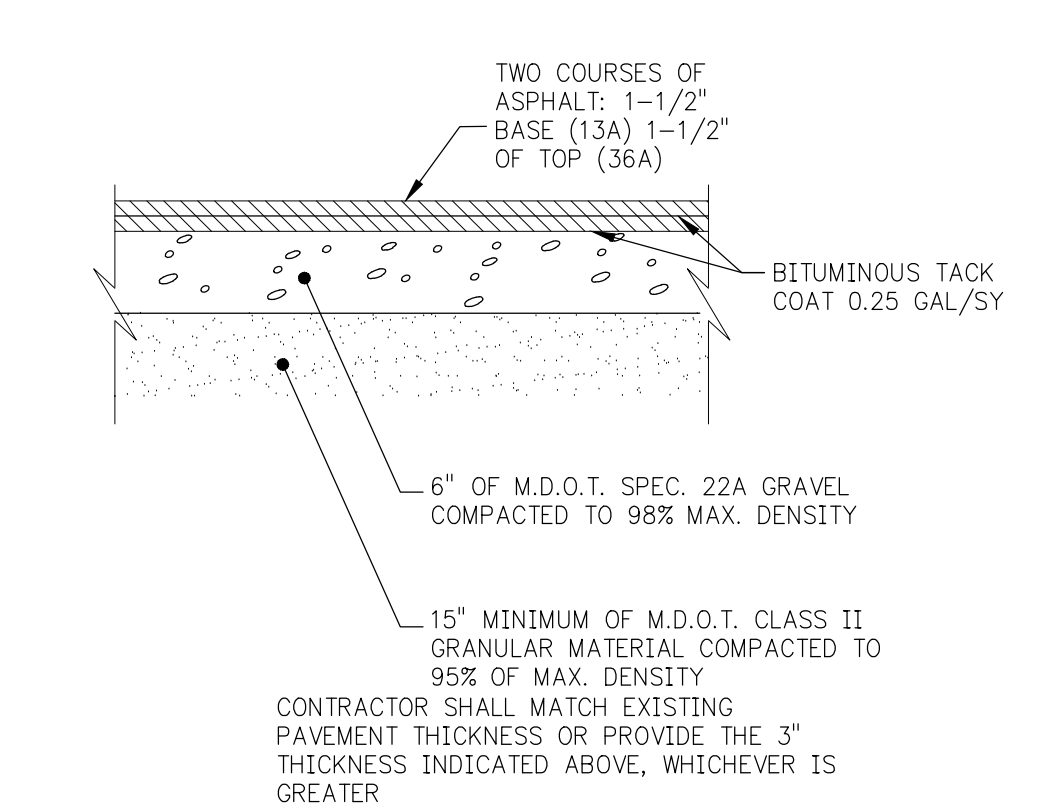
- REFER TO PAGES 4.2 AND 4.3 FOR DETAILS.
- CONTRACTOR TO INSTALL WELL AND SEWER SYSTEM COMPLIANT WITH HEALTH DEPARTMENT AND COUNTY PLUMBING/ELECTRICAL/MECHANICAL CODES.



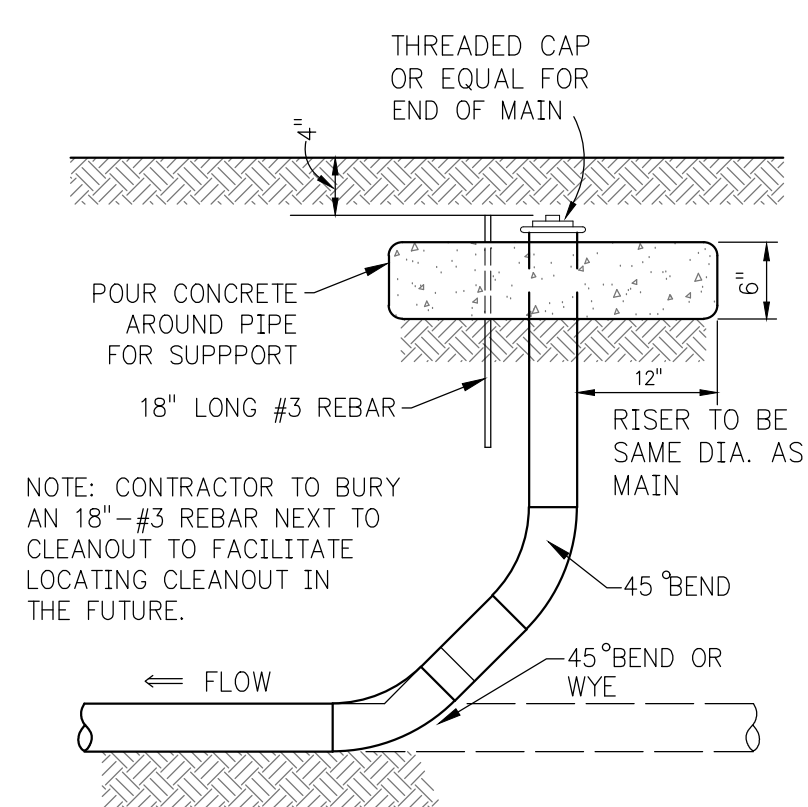




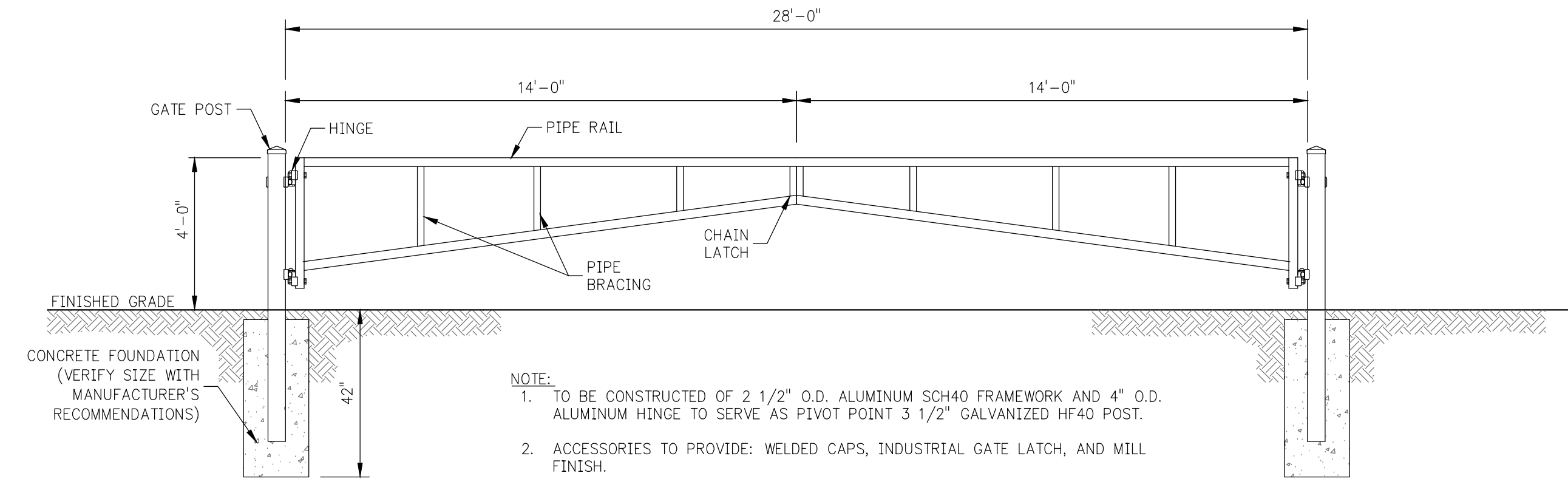
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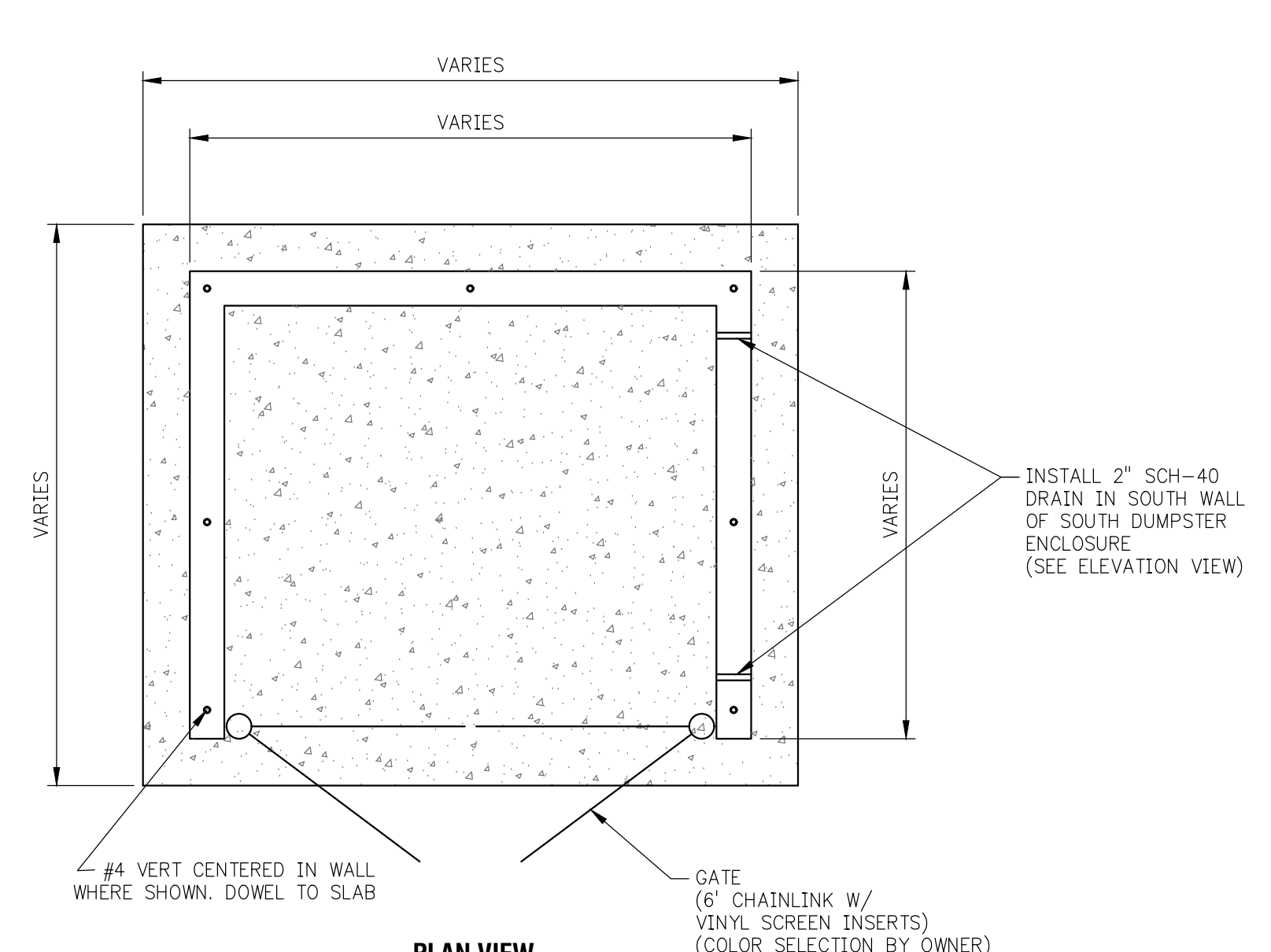
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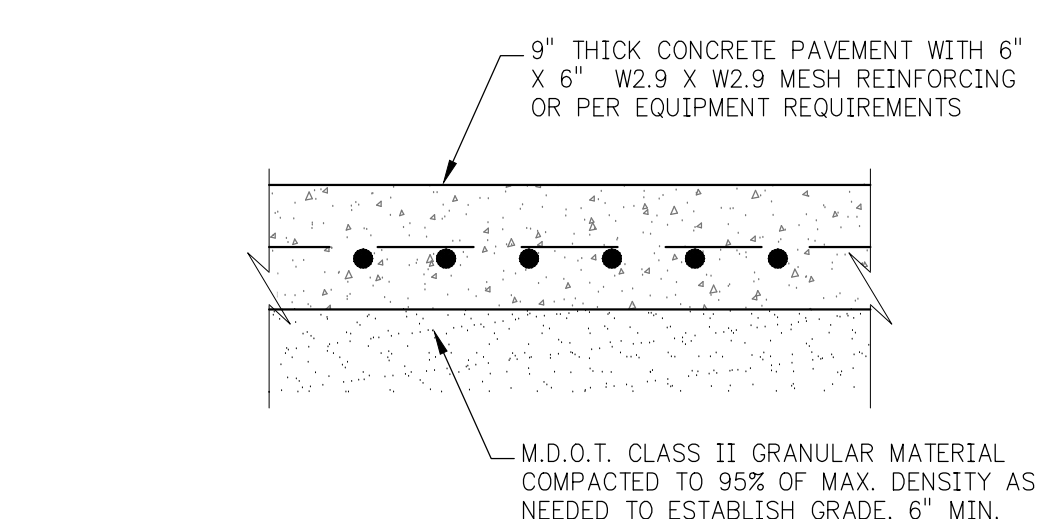
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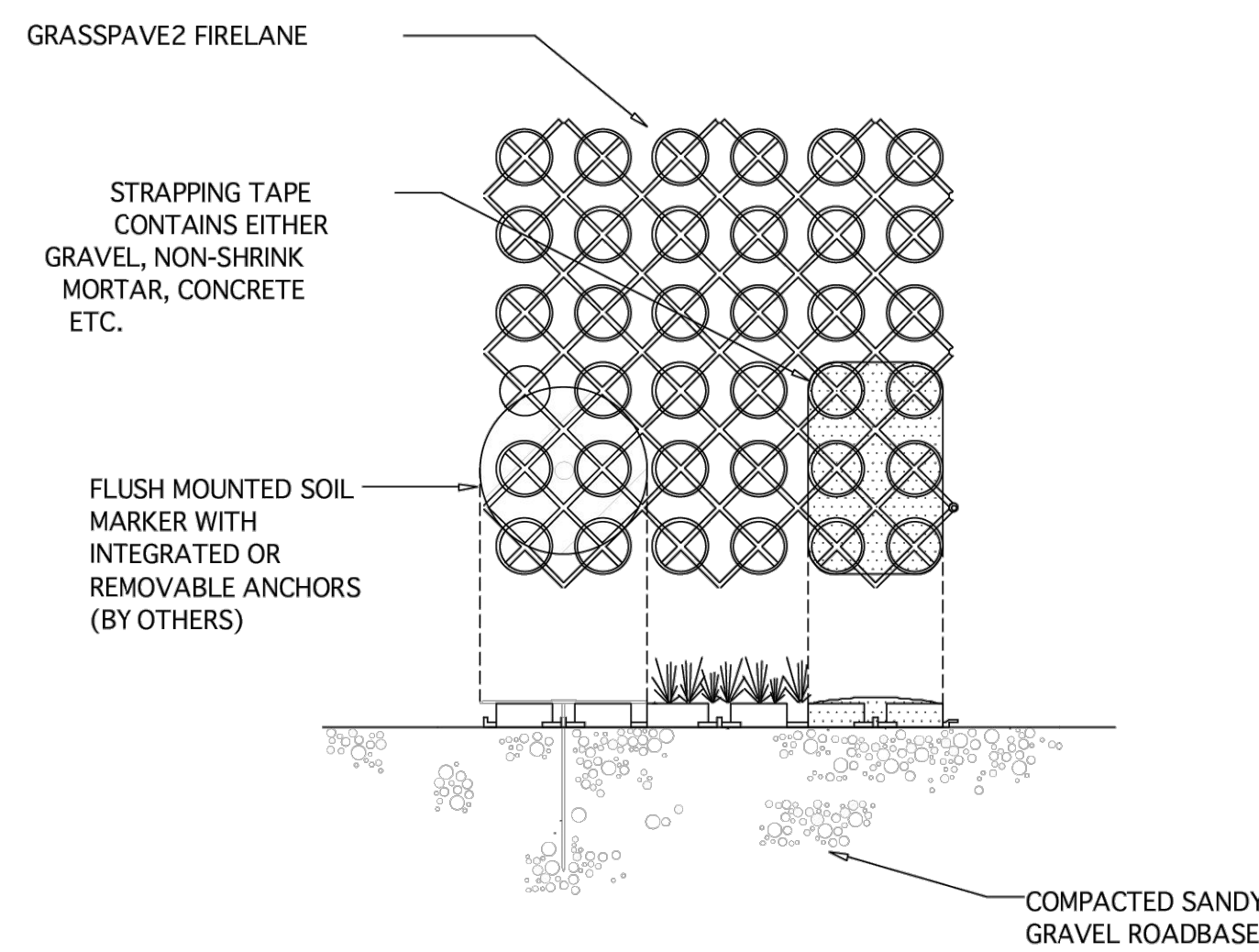
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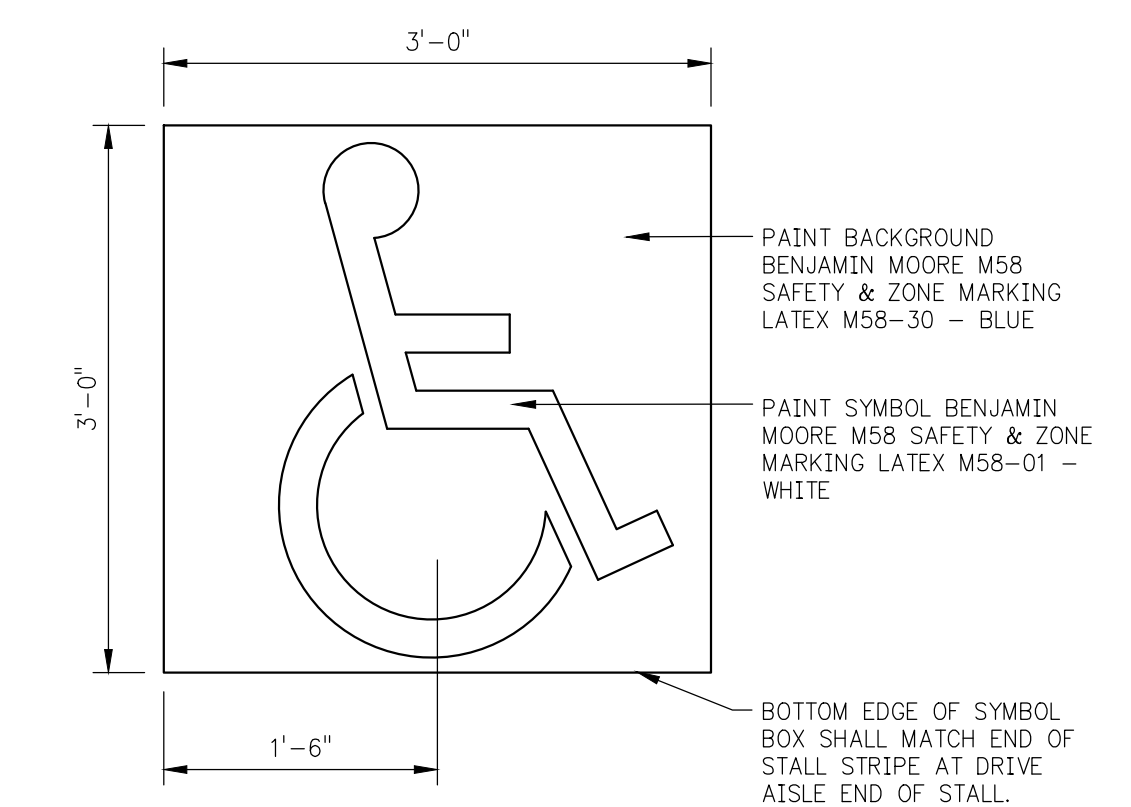
**PLAN VIEW**  
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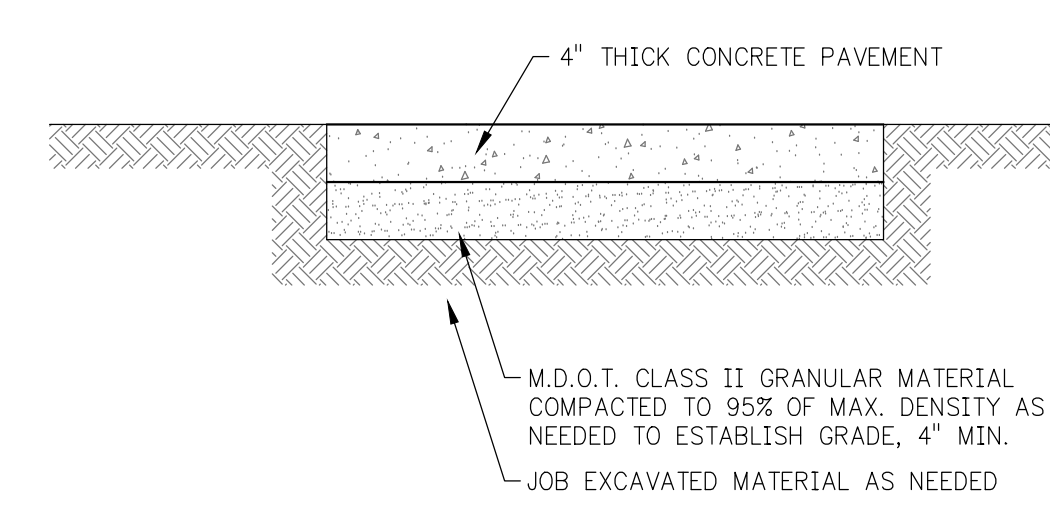
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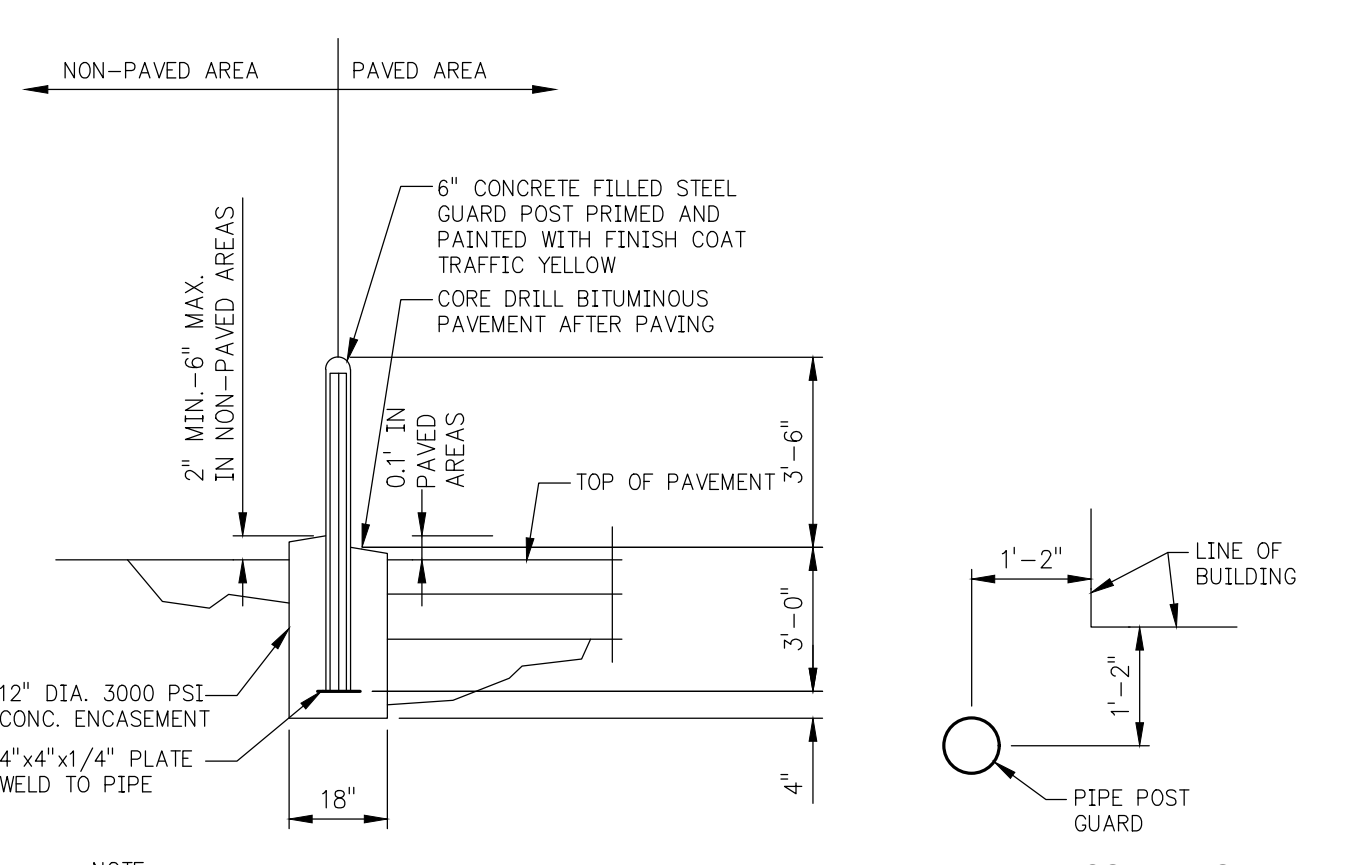
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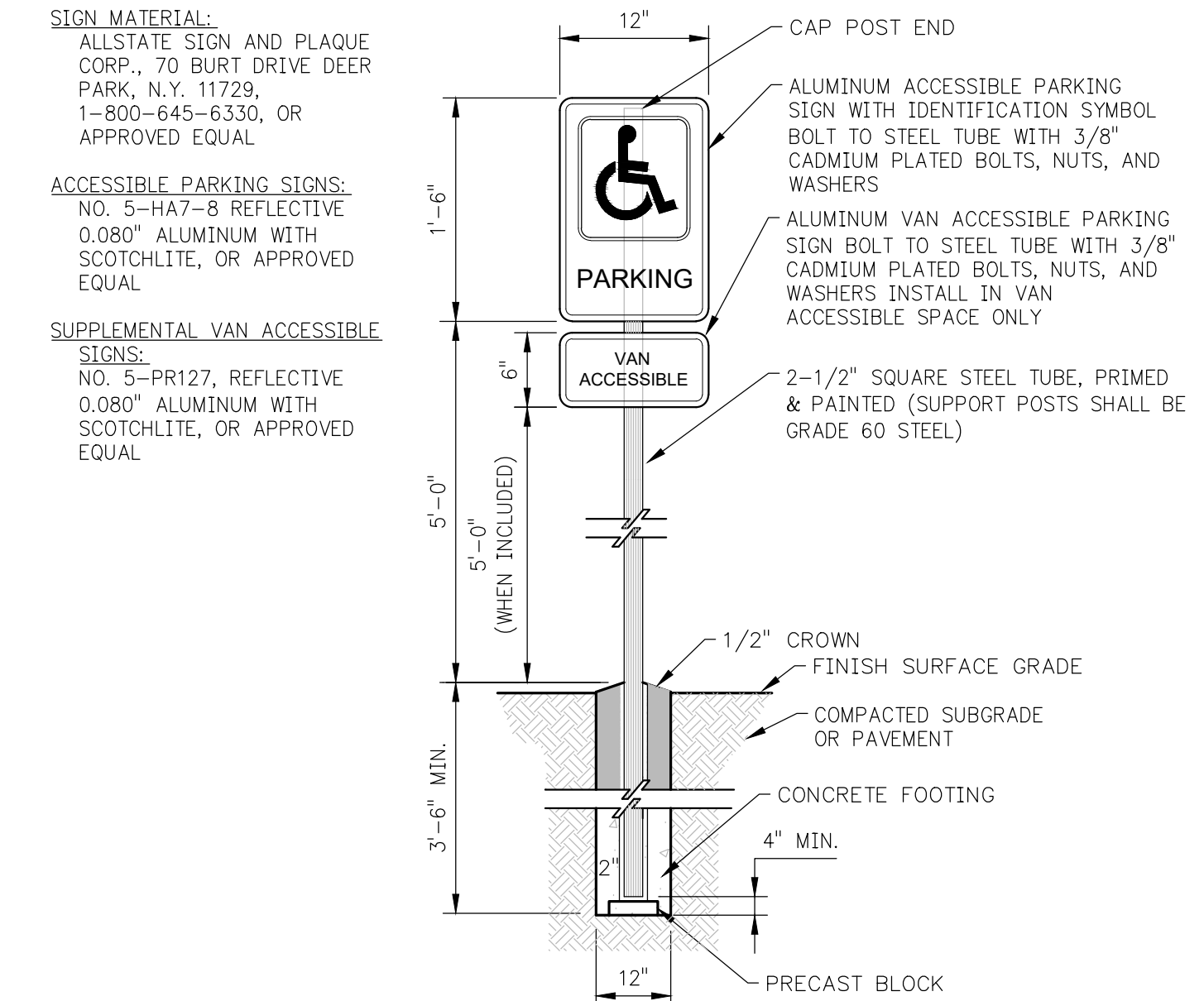
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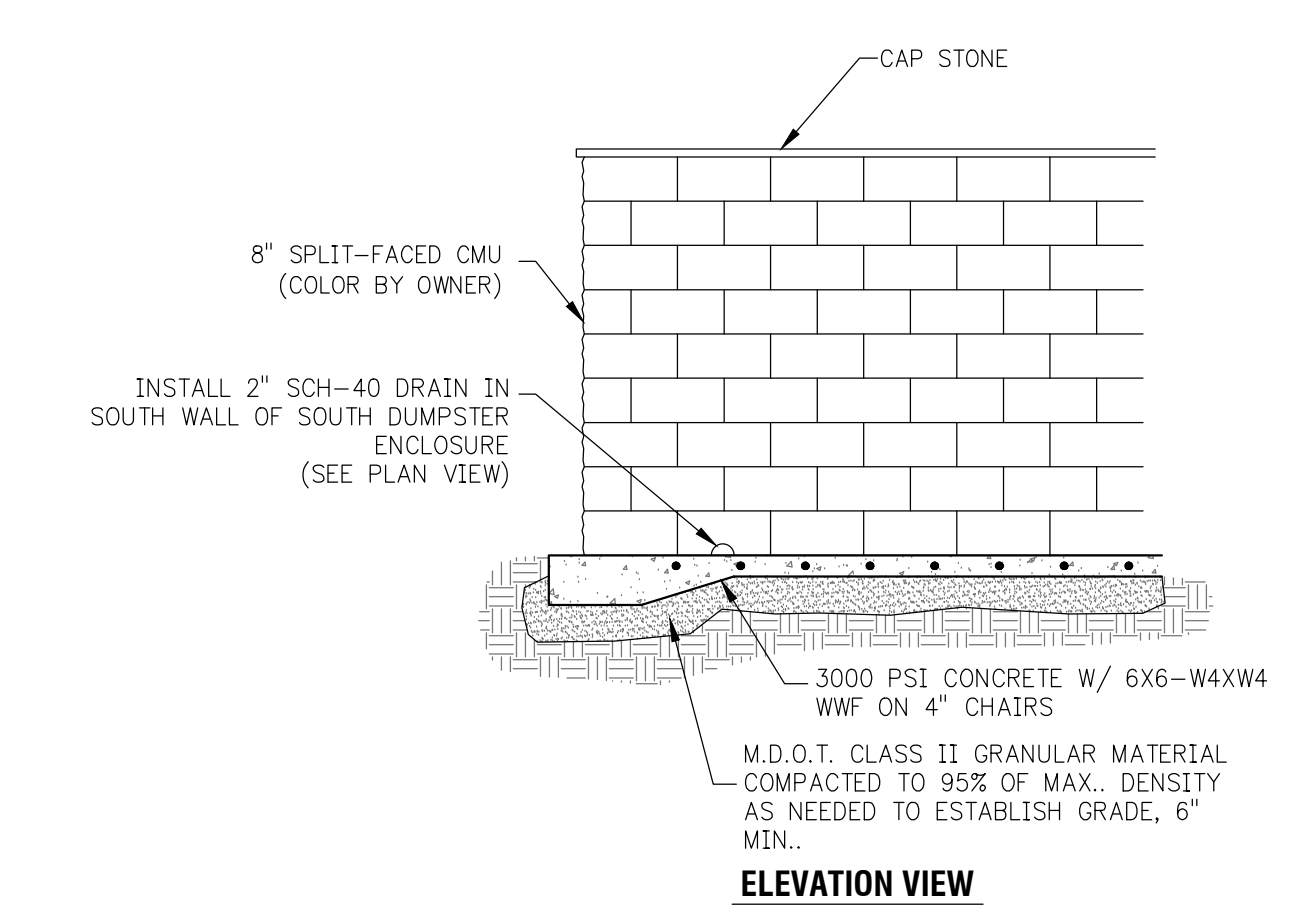
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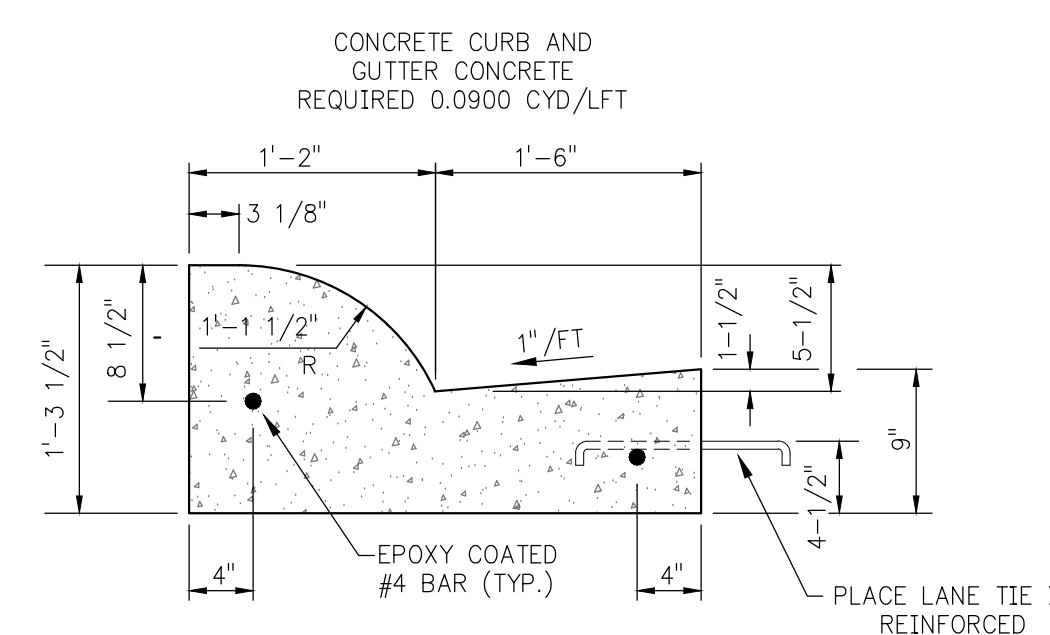
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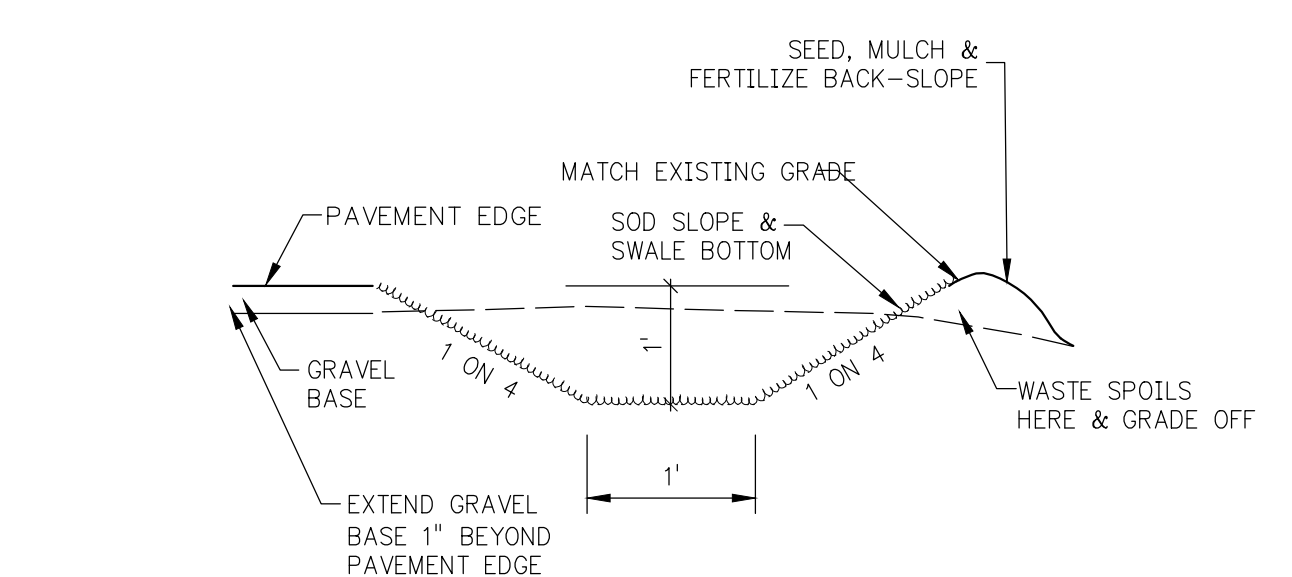
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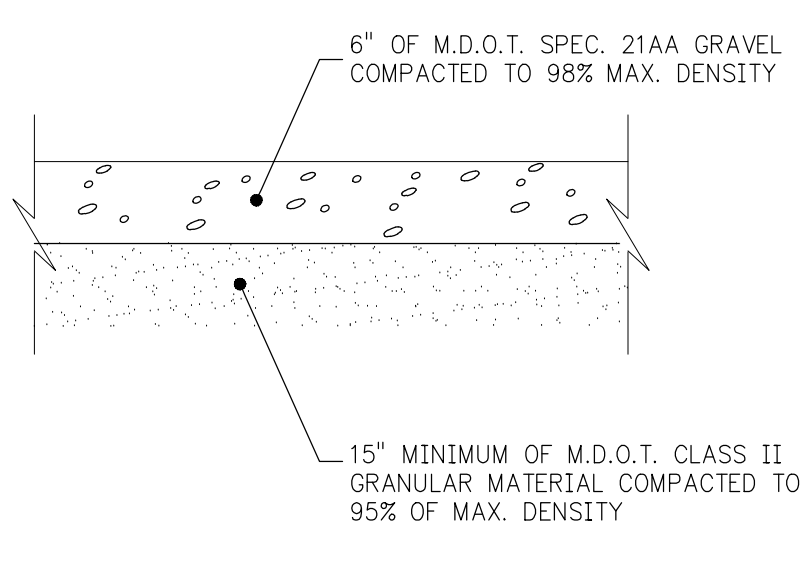
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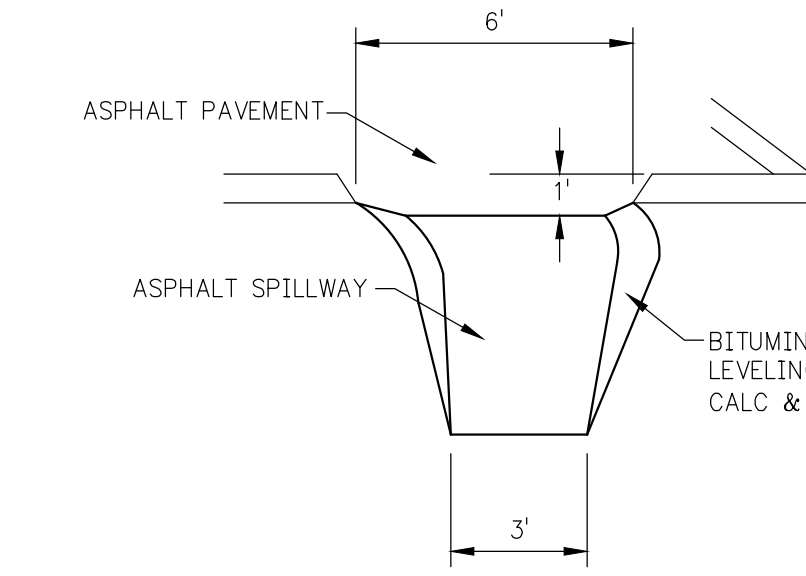
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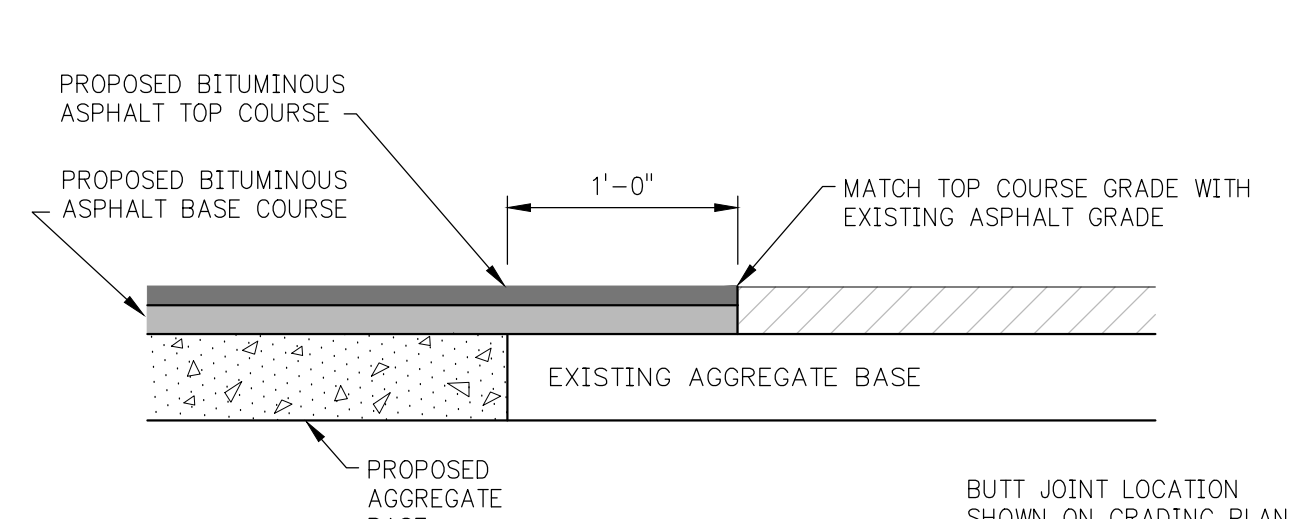
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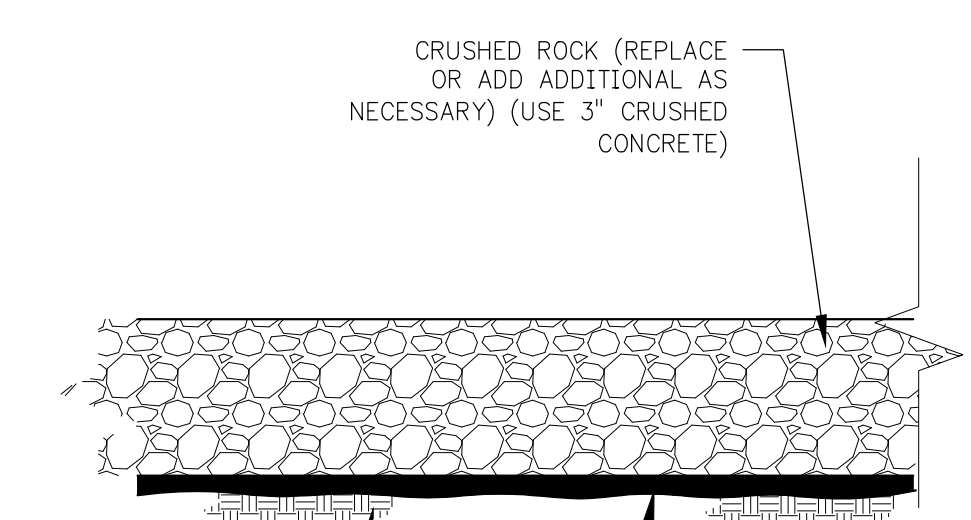
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**ASPHALT SPILLWAY DETAIL**  
NO SCALE



**BUTT JOINT DETAIL**  
NO SCALE



**CONSTRUCTION ENTRANCE DETAIL**  
NOT TO SCALE

**MATHISON MATHISON ARCHITECTS**

**Traverse City Whiskey Company**  
940 S. CENTER HIGHWAY TRAVERSE CITY, MI

**CONSULTANTS:**  
**COMPREHENSIVE ENGINEERING**  
4633 Plainfield Avenue, NE  
Grand Rapids, Michigan 49625  
Phone (616) 365-9933  
compeng.com

**gfa**  
123 W Front Street  
Traverse City, Michigan 49684  
p: (231) 946-5874  
gfa.tc

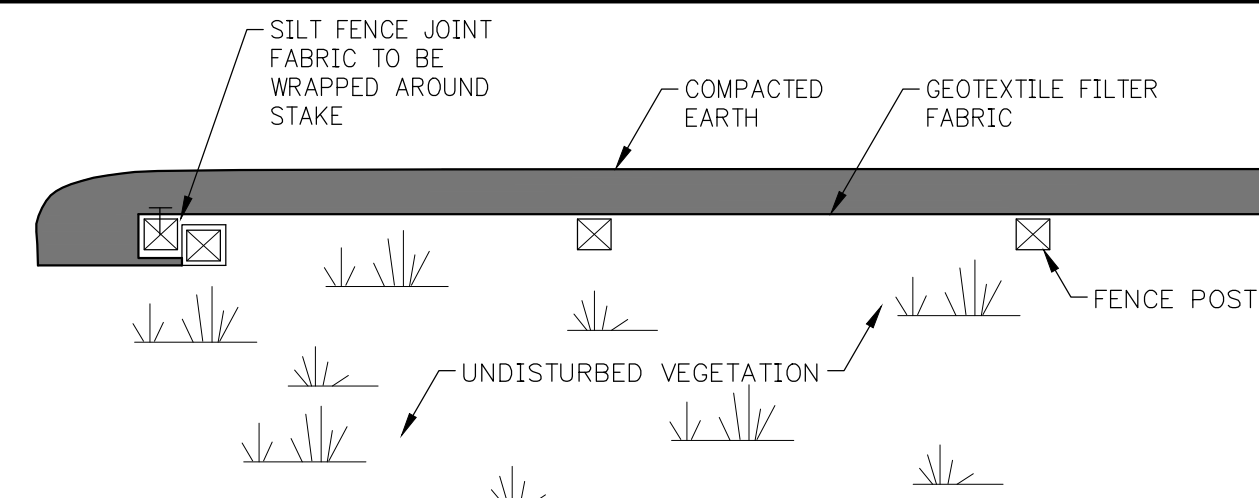
**DAL KITA**  
Post Office Box 1251  
Englewood, Colorado 80150  
p: (303) 766-1295

**CONTRACTOR:**  
**Erhardt CONSTRUCTION**  
ERHARDT CONSTRUCTION

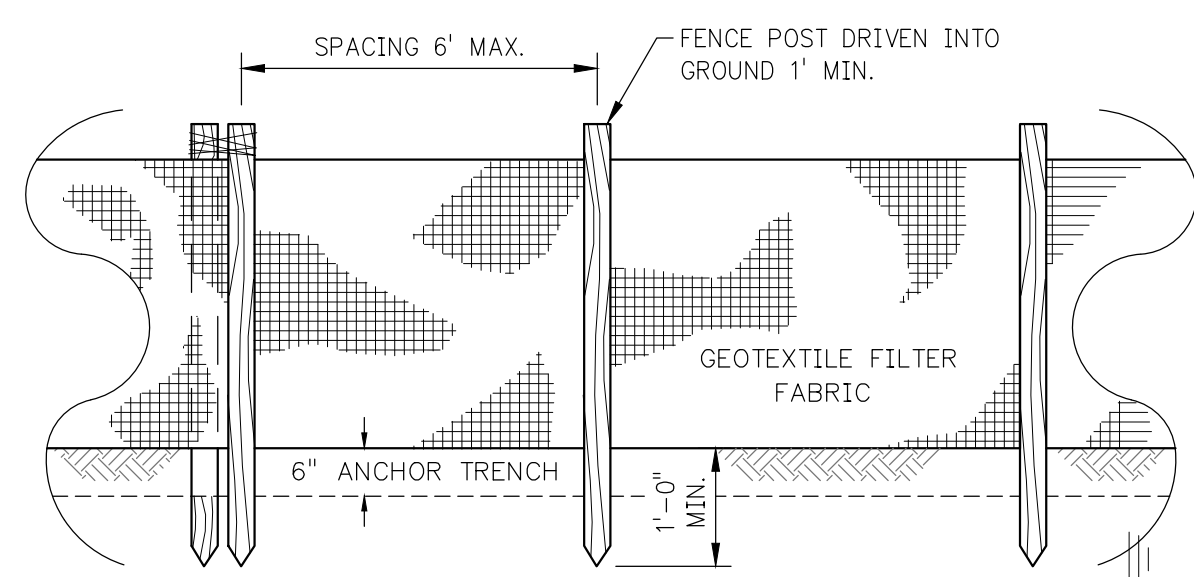
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**DRAWING ISSUE**

**DRAWING TITLE:**  
Construction Details

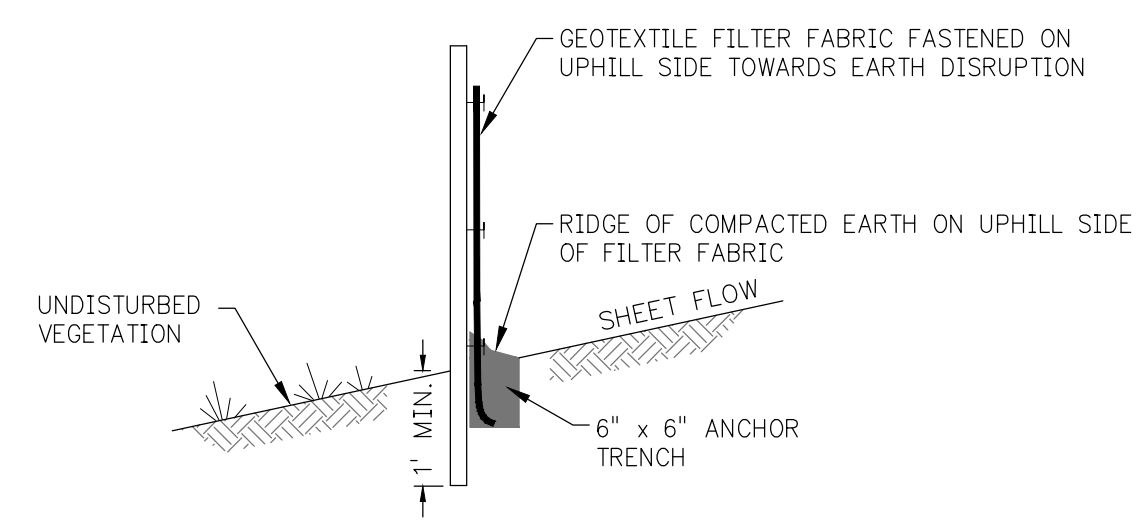
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MMA JOB # 22000  
© MATHISON MATHISON ARCHITECTS



PLAN VIEW



FRONT ELEVATION



SECTION VIEW  
SILT FENCE DETAIL

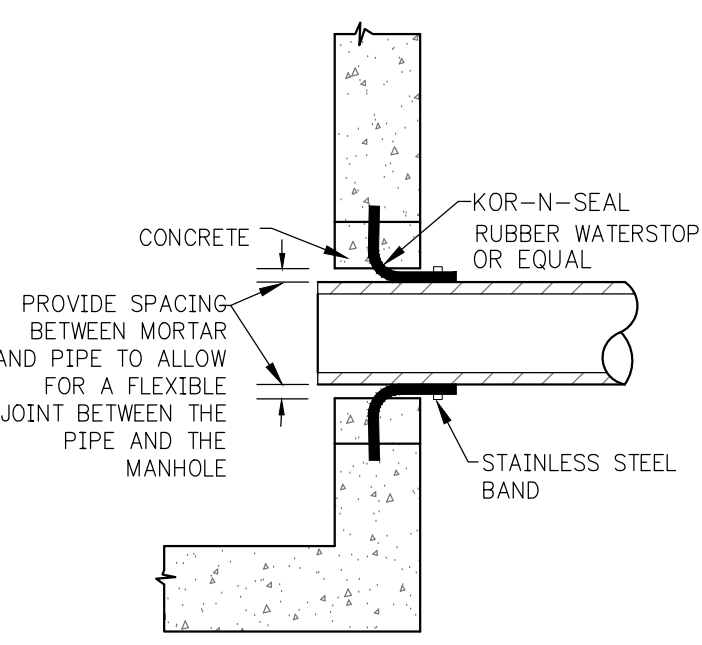
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PROVIDE SIGNAGE PER LOCAL FIRE DEPARTMENT REQUIREMENTS



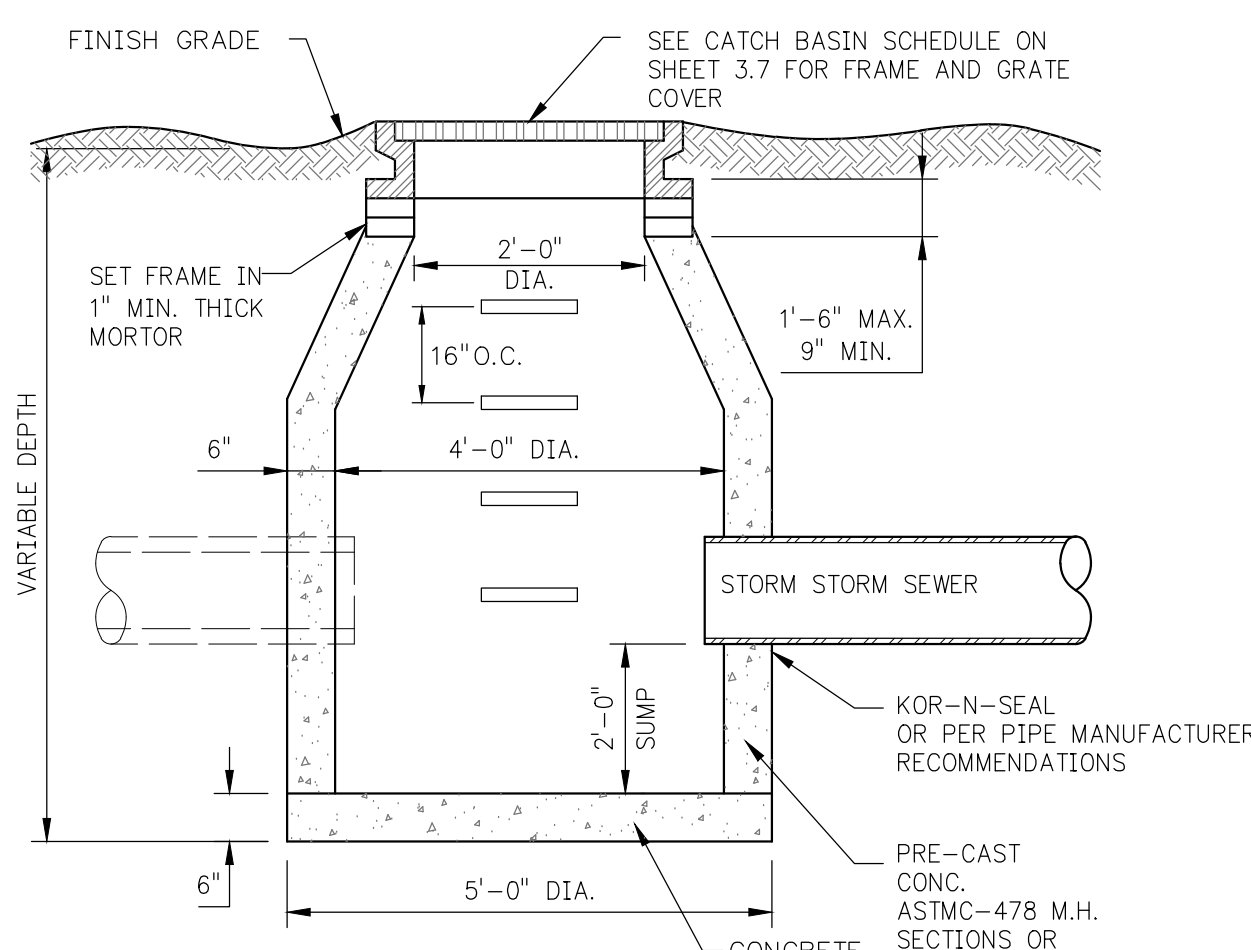
FIRE LANE SIGN DETAIL

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MANHOLE/WETWELL WATERSTOP DETAIL

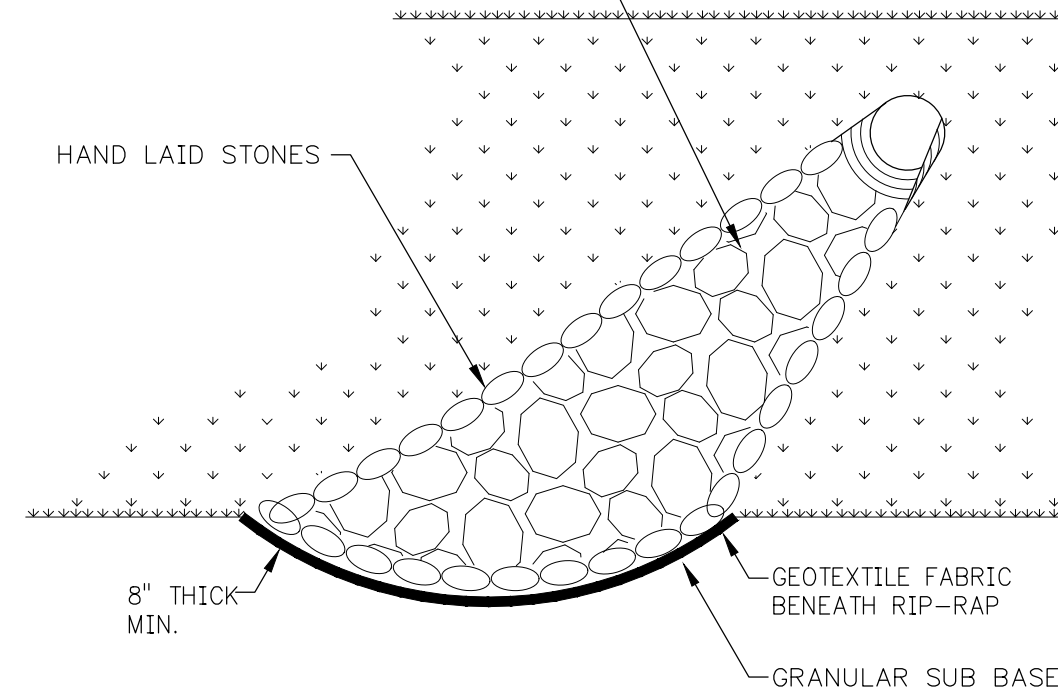
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4 FT. DIA. STORM STRUCTURE DETAIL

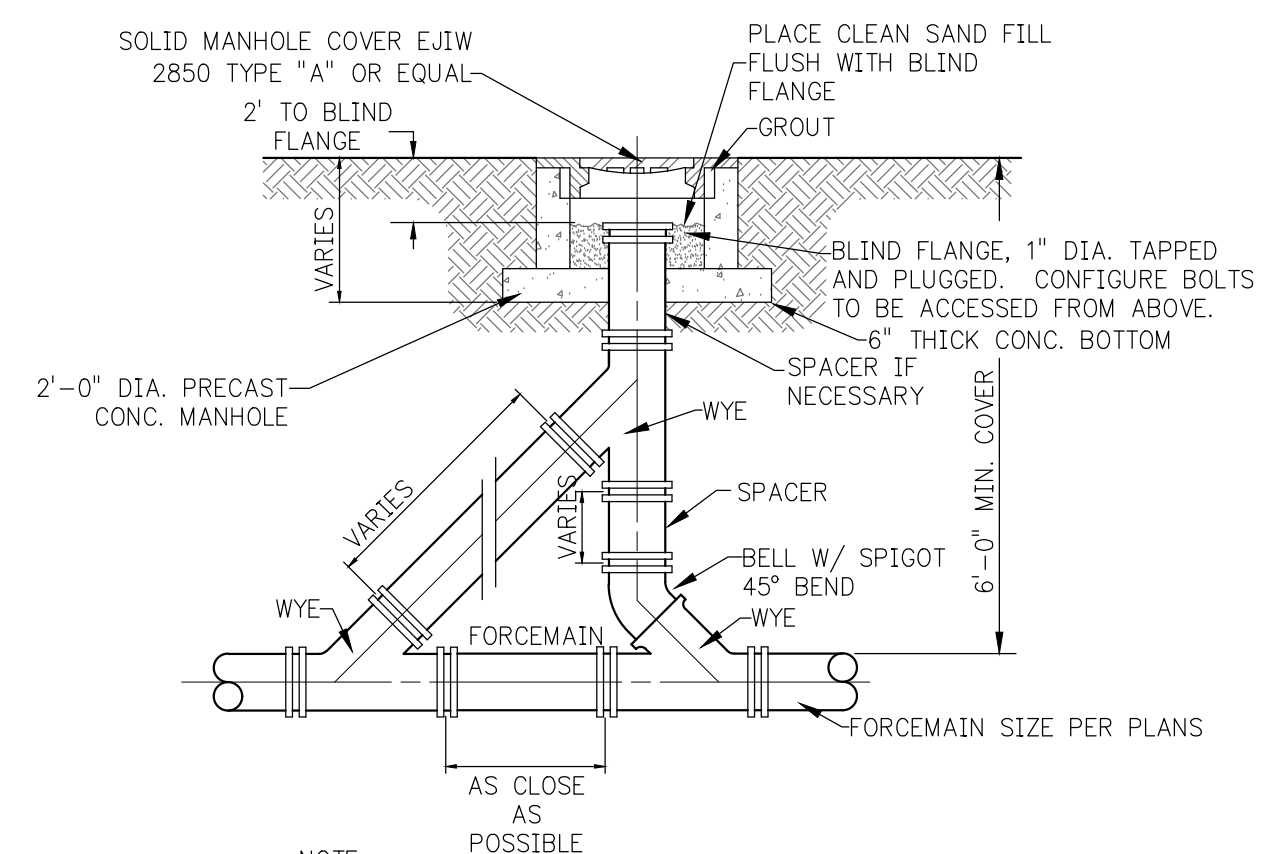
NO SCALE  
\*NO SUMP ON STORM MANHOLES

NOTES:  
STONE, ROCK OR COBBLESTONE WITH AT LEAST NOMINAL DIAMETER OF D50=12 INCHES. SMALLER PIECES MAY BE USED FOR FILLING SPACES BETWEEN LARGER PIECES OF RIP-RAP. RIP-RAP SHALL EXTEND 10' MINIMUM FROM END SECTION AND HAVE A MINIMUM END WIDTH OF 6'



RIP-RAP

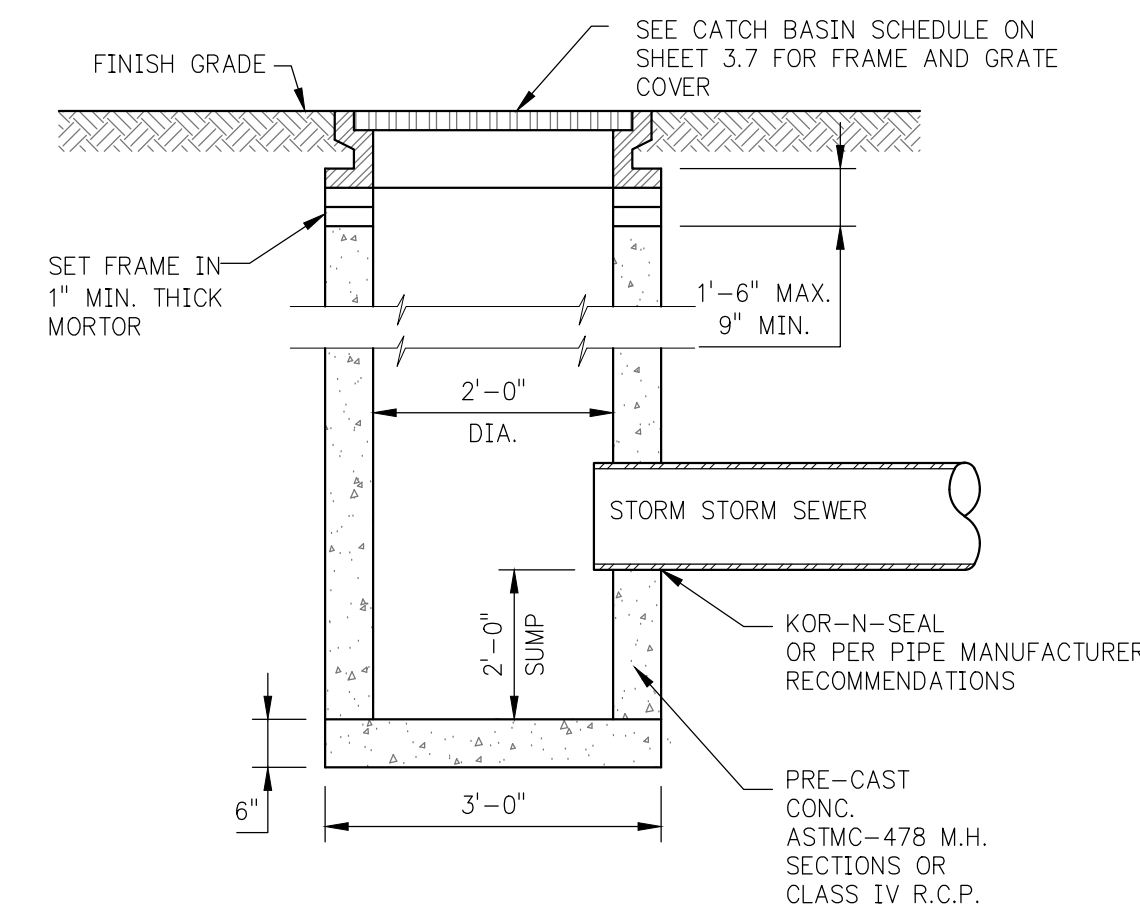
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TWO WAY LOW PRESSURE SEWER LEAD CLEANOUT DETAIL

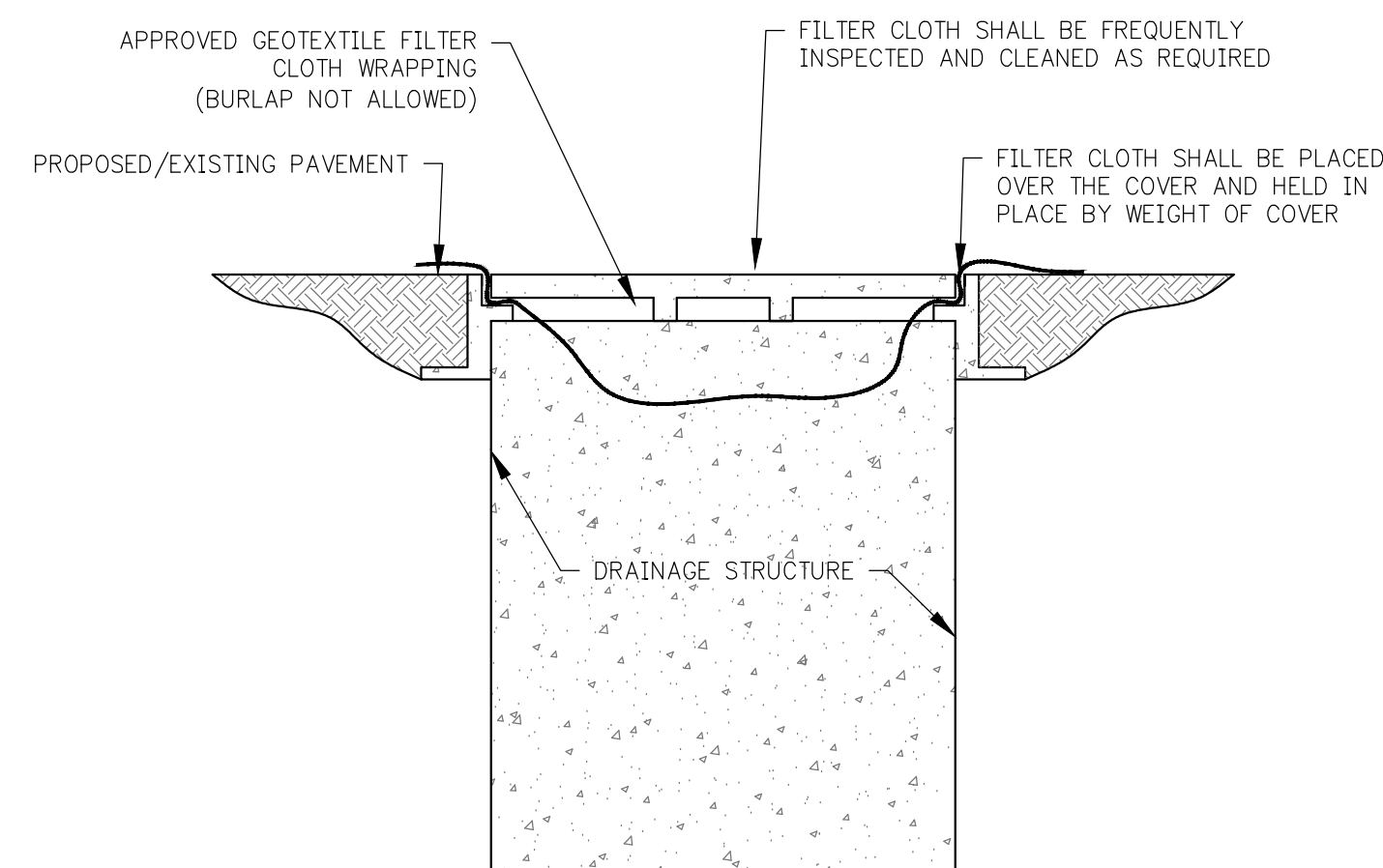
NO SCALE

NOTE:  
ALL UNDERGROUND FITTINGS TO BE MECHANICAL JOINT  
ALL FITTINGS ARE TO BE RESTRAINED VALVES MAY BE REQUIRED IF CLEANOUT IS LOCATED AT A LOW POINT



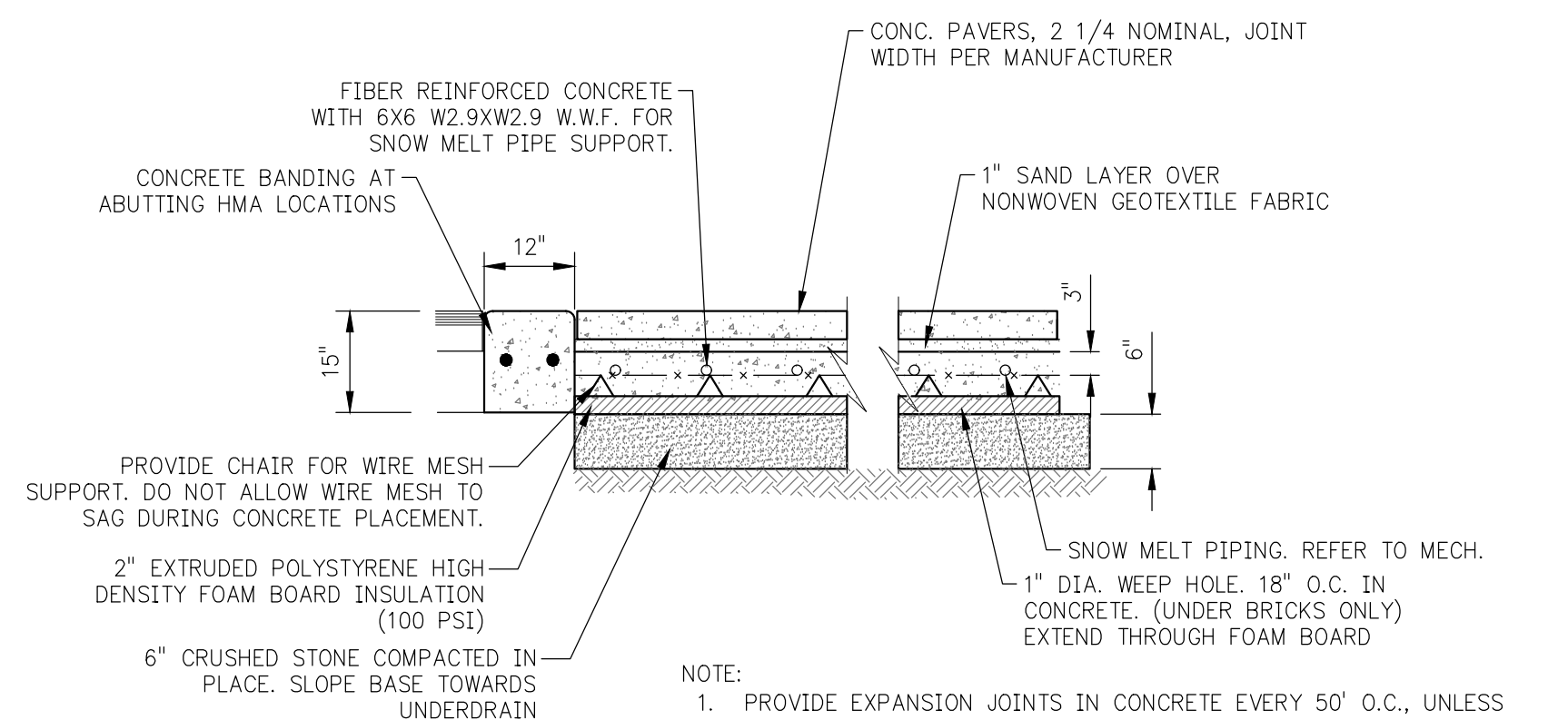
2 FT. DIA. STORM STRUCTURE DETAIL

NO SCALE



INLET PROTECTION DETAIL

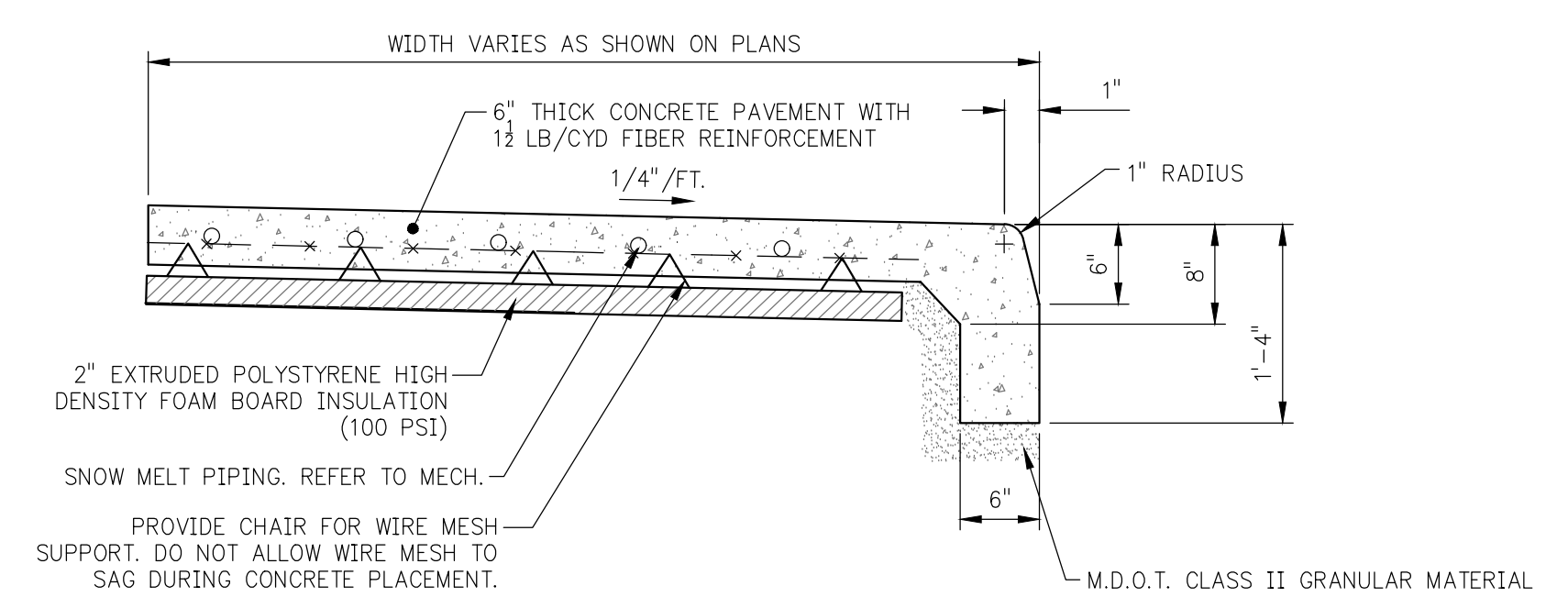
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CONCRETE PAVER W/ SNOW MELT DETAIL

NO SCALE

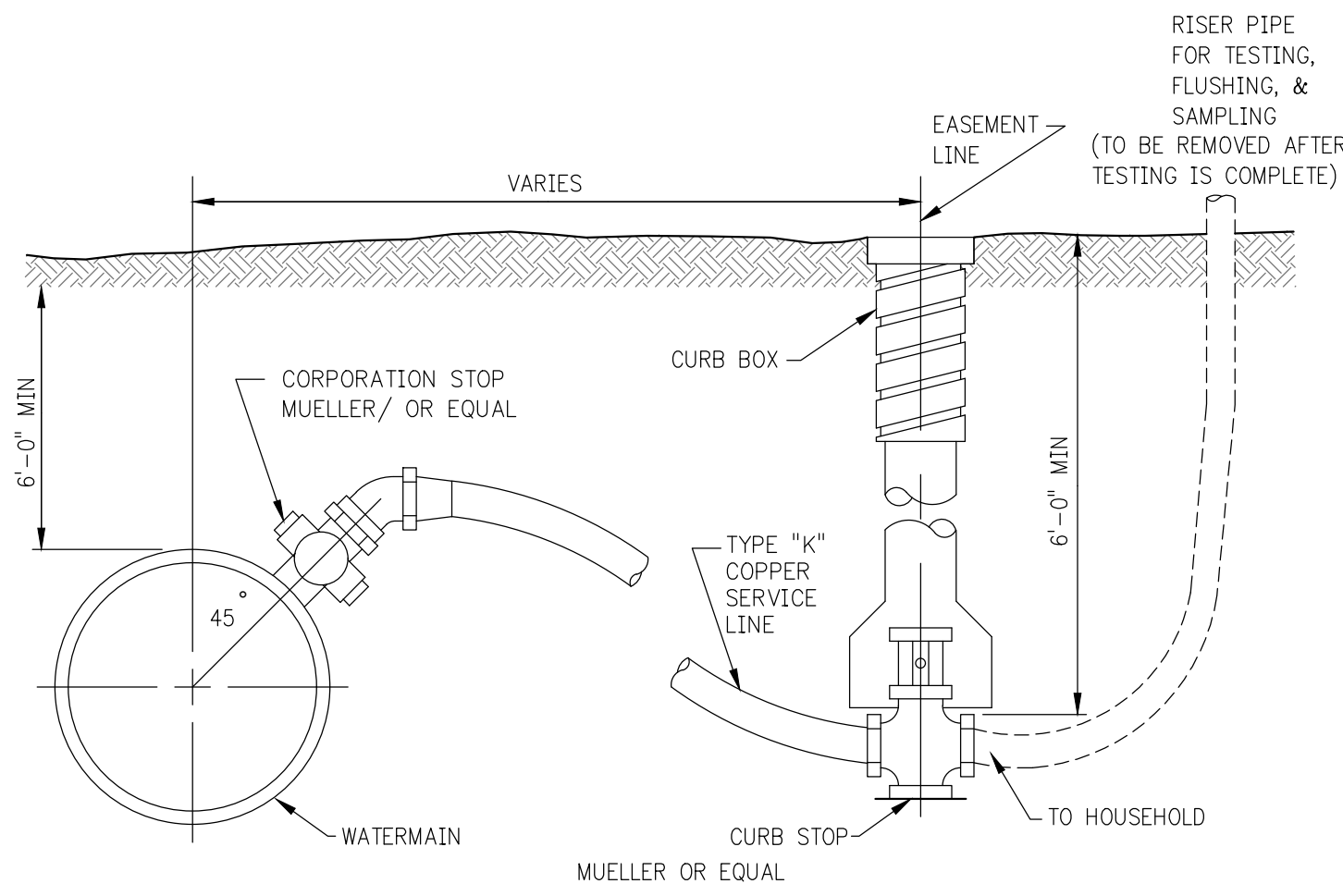
NOTE:  
1. PROVIDE EXPANSION JOINTS IN CONCRETE EVERY 50' O.C., UNLESS SHOWN OTHERWISE.  
2. PROVIDE SEALANT AND BACKER ROD INTO EXPANSION JOINTS.  
3. PROVIDE DOWEL THROUGH JOINTS AT ALL EXPANSION JOINTS. WRAP OR TWIST FREE BAR BEFORE FINAL SLAP PLACEMENT.  
4. CONFIRM SNOWMELT PIPING AND DIAMETER WITH SNOW MELT INSTALLER.  
5. PROVIDE SLEEVES AT EXPANSION JOINT FOR SNOW MELT TUBING.  
6. PLACE 2"x2" 3/16" STEEL ANGLE AT RESTRAINT LOCATIONS. SEE LANDSCAPE PLAN FOR LOCATIONS



CURBED WALK W/ SNOW MELT DETAIL

NO SCALE

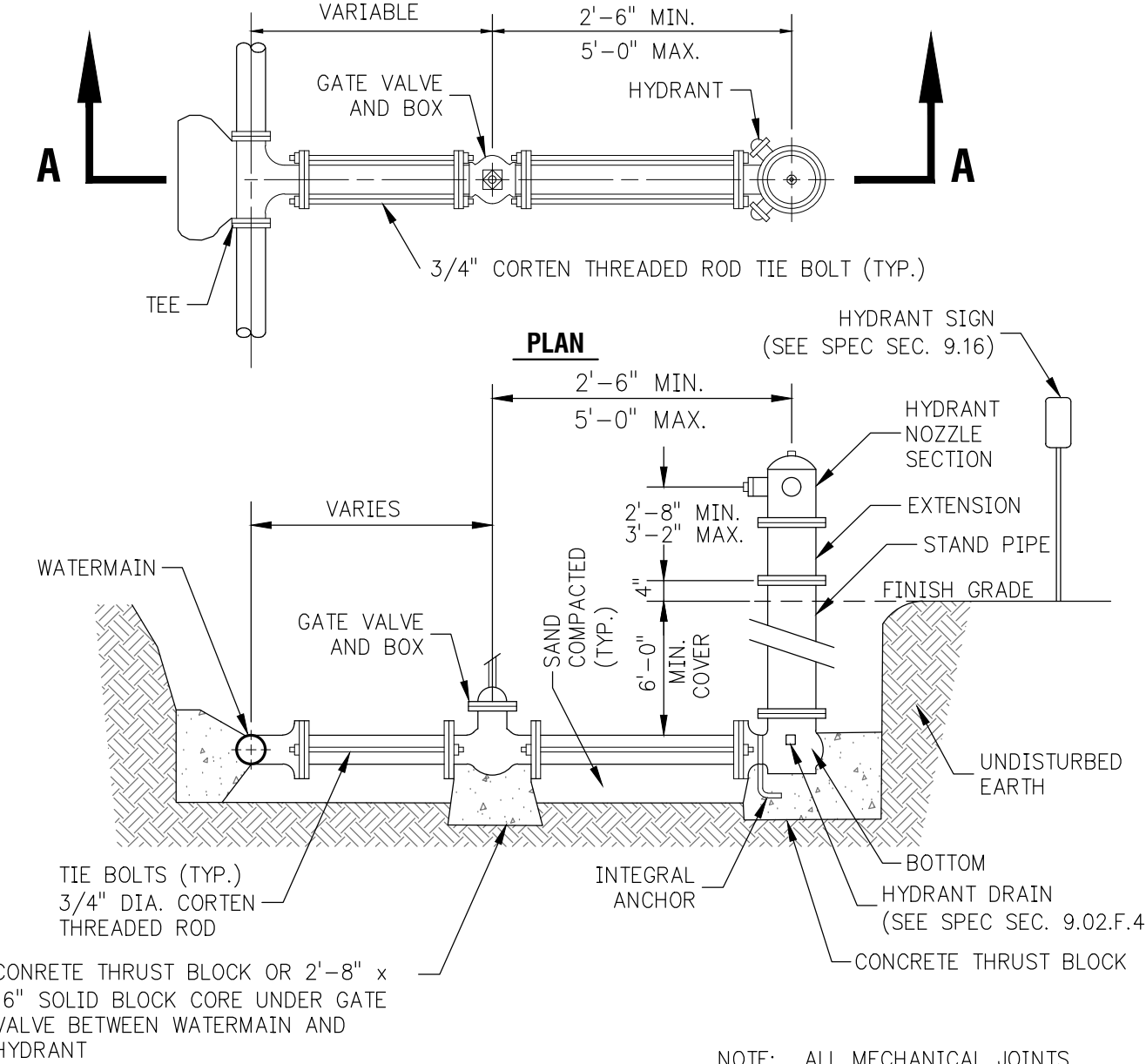
NOTE:  
SAWCUT OR TOOL WALK IN SQUARE PATTERN. PROVIDE EXPANSION JOINTS AT ALL SPRING POINTS AND PERMANENT STRUCTURES WITH MAXIMUM SPACING OF FOUR TIMES WALK WIDTH.



NOTE:  
ALL 2" BLOWOFFS AT WATERMAIN STUBS TO BE LOCATED BY ENGINEER/FIELD REPRESENTATIVE.

**SERVICE CONNECTION DETAIL**

NO SCALE

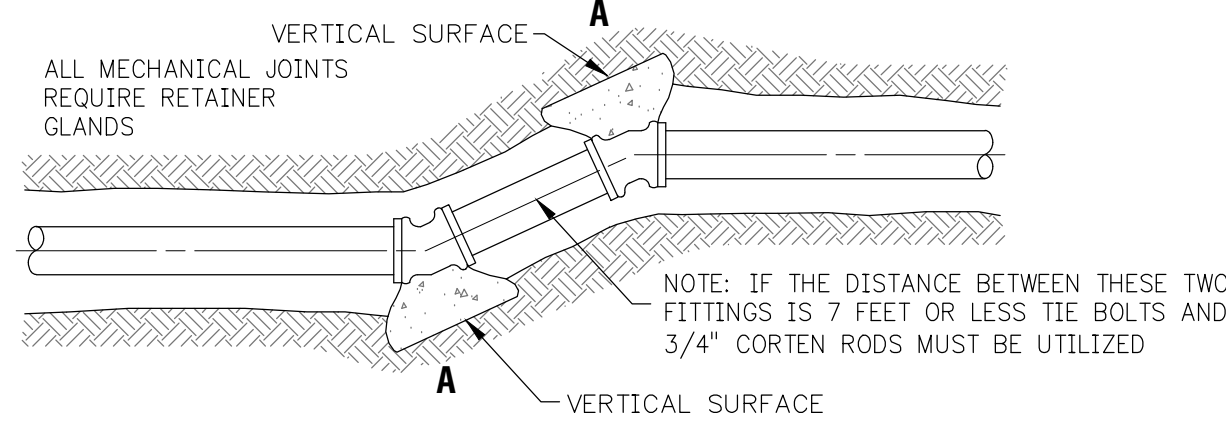


NOTE: ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS

**SECTION A-A  
HYDRANT ASSEMBLY DETAIL**

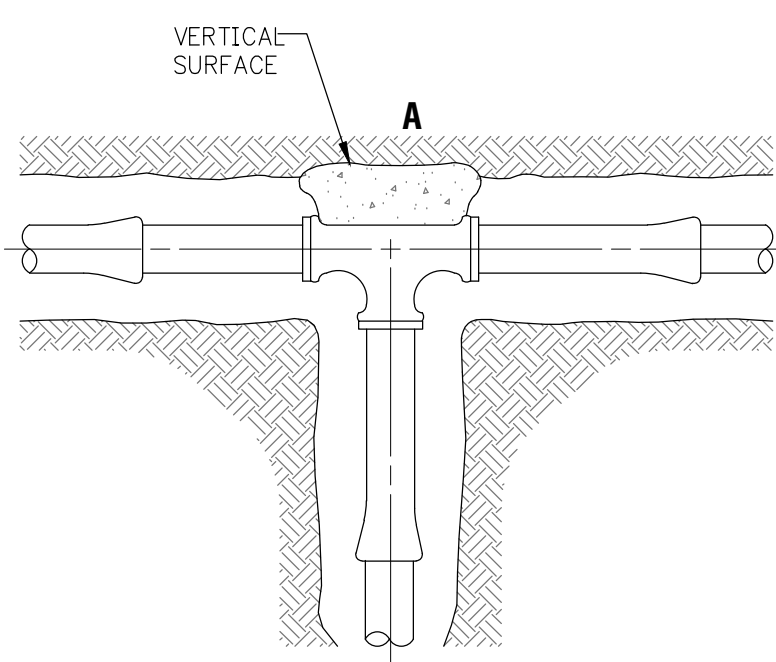
NO SCALE

DEGREE OF BEND IN ELBOW	PIPE SIZE	MIN. BEARING SURFACE ON UNDISTURBED SOIL FOR THRUST BLOCKS
SURFACE A		
45°	4"	1'-4" x 1'-0" = 1.3 SQ. FT.
45°	6"	1'-8" x 1'-4" = 2.2 SQ. FT.
45°	8"	2'-0" x 2'-0" = 4.0 SQ. FT.
45°	10"	2'-4" x 2'-4" = 5.4 SQ. FT.
45°	12"	2'-8" x 2'-8" = 7.1 SQ. FT.
45°	16"	3'-8" x 3'-8" = 13.5 SQ. FT.
22.5° OR 11.25°	4"	1'-0" x 0'-8" = 0.7 SQ. FT.
22.5° OR 11.25°	6"	1'-4" x 1'-0" = 1.3 SQ. FT.
22.5° OR 11.25°	8"	1'-8" x 1'-4" = 2.2 SQ. FT.
22.5° OR 11.25°	10"	1'-8" x 1'-8" = 2.8 SQ. FT.
22.5° OR 11.25°	12"	1'-10" x 1'-10" = 3.4 SQ. FT.
22.5° OR 11.25°	16"	2'-8" x 2'-8" = 7.1 SQ. FT.



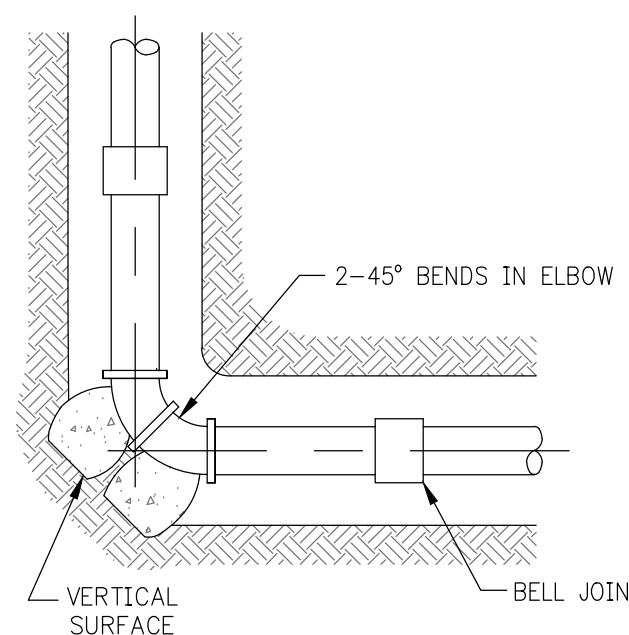
**TYPICAL OFFSET DETAIL**

NO SCALE



**TYPICAL TEE CONNECTION DETAIL**

NO SCALE

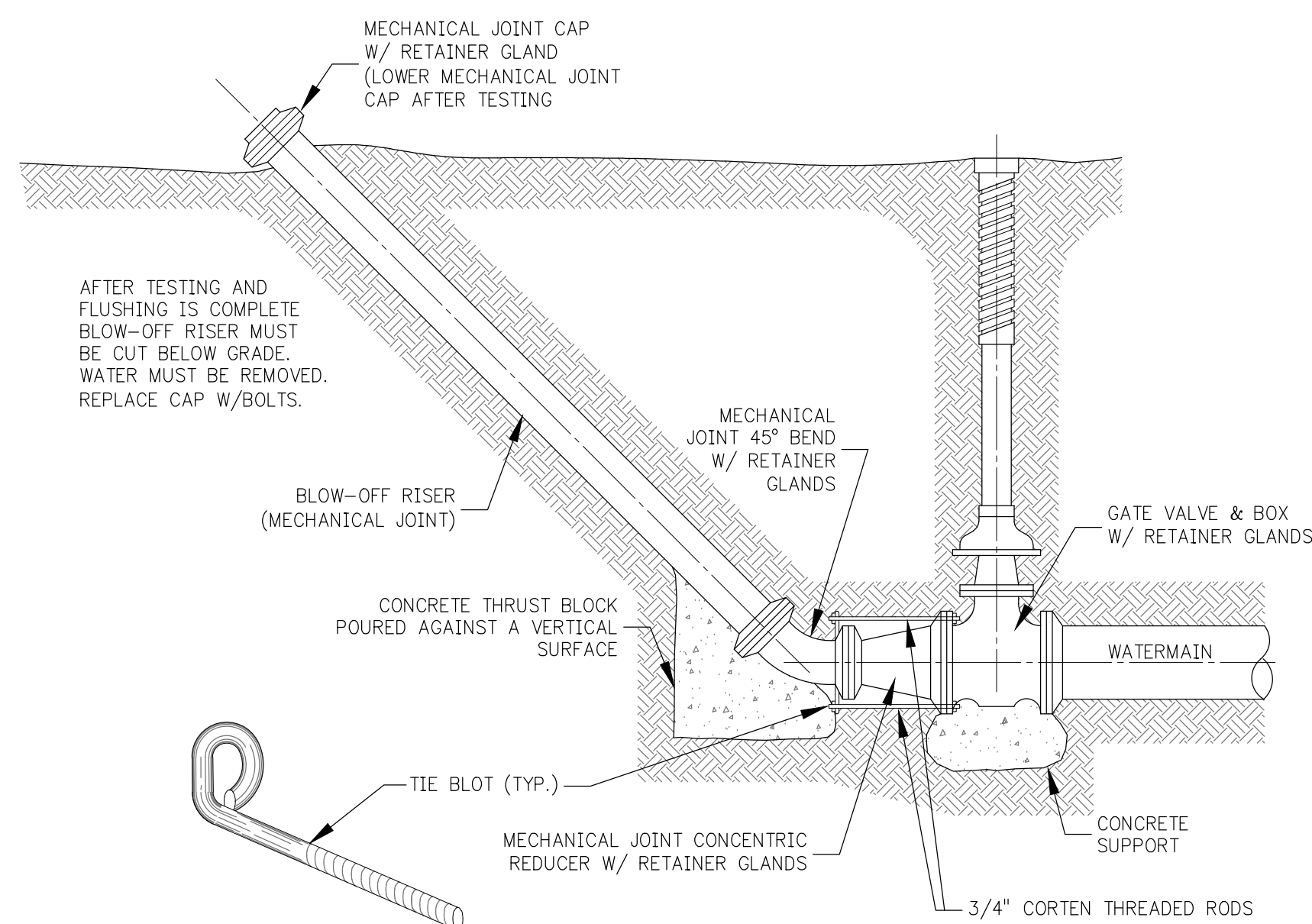


**TYPICAL BEND DETAIL**

NO SCALE

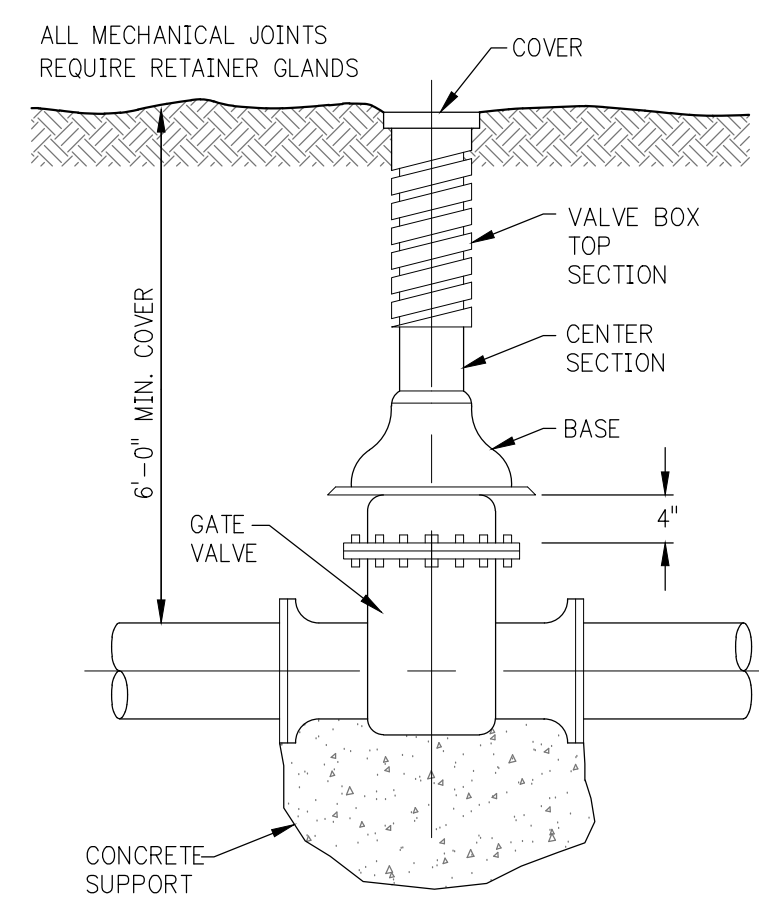
PIPE SIZE	MIN. BEARING SURFACE ON UNDISTURBED SOIL FOR THRUST BLOCKS
SURFACE A	
4"	1'-9" x 1'-4" = 2.3 SQ. FT.
6"	2'-3" x 2'-0" = 4.5 SQ. FT.
8"	2'-8" x 2'-8" = 7.1 SQ. FT.
10"	3'-0" x 3'-0" = 9.0 SQ. FT.
12"	3'-8" x 3'-8" = 13.5 SQ. FT.
16"	5'-0" x 5'-0" = 25 SQ. FT.

ALL MECHANICAL JOINTS REQUIRE RETAINER GLANDS



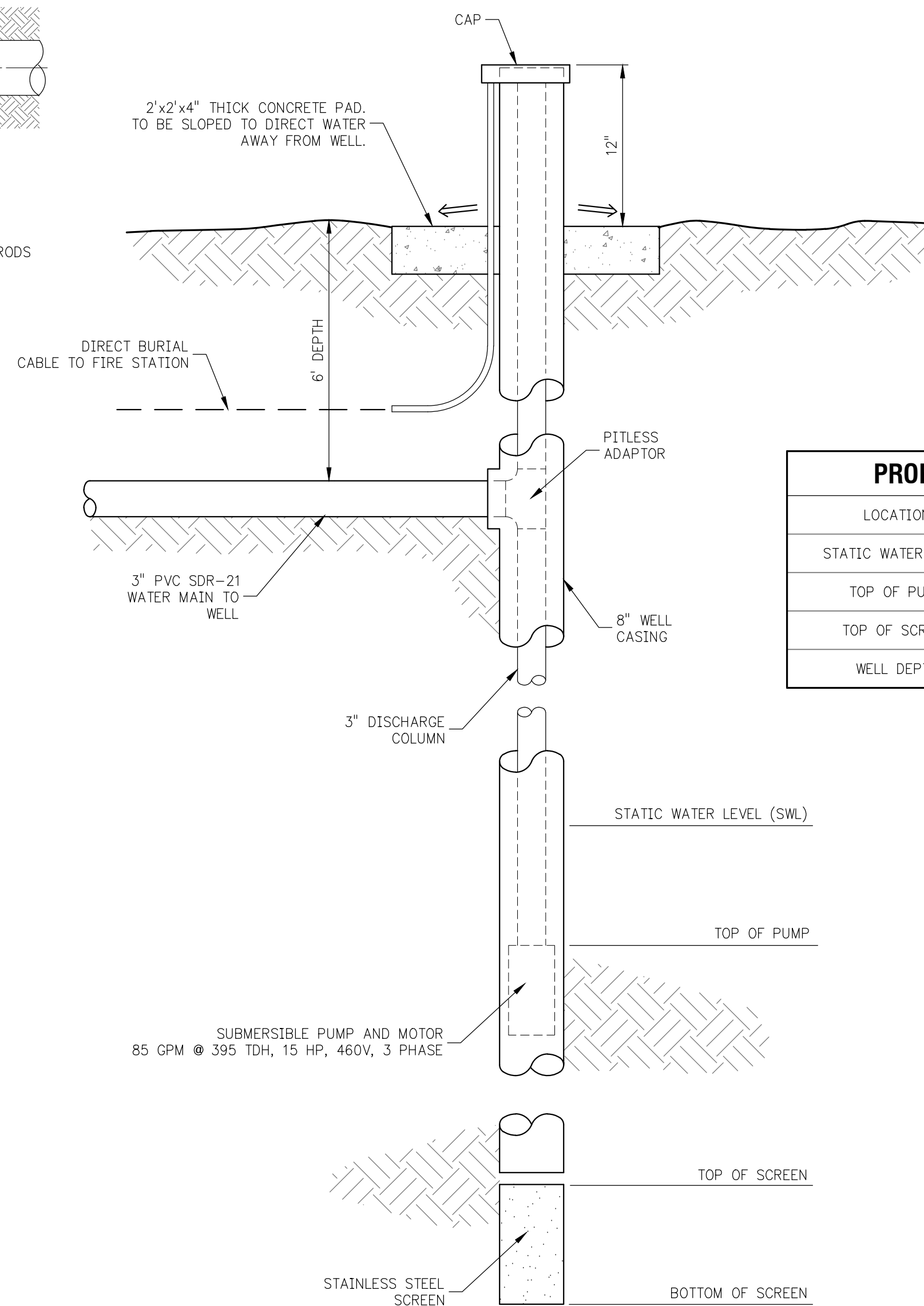
**BLOW-OFF DETAIL**

NO SCALE



**VALVE BOX INSTALLATION DETAIL**

NO SCALE



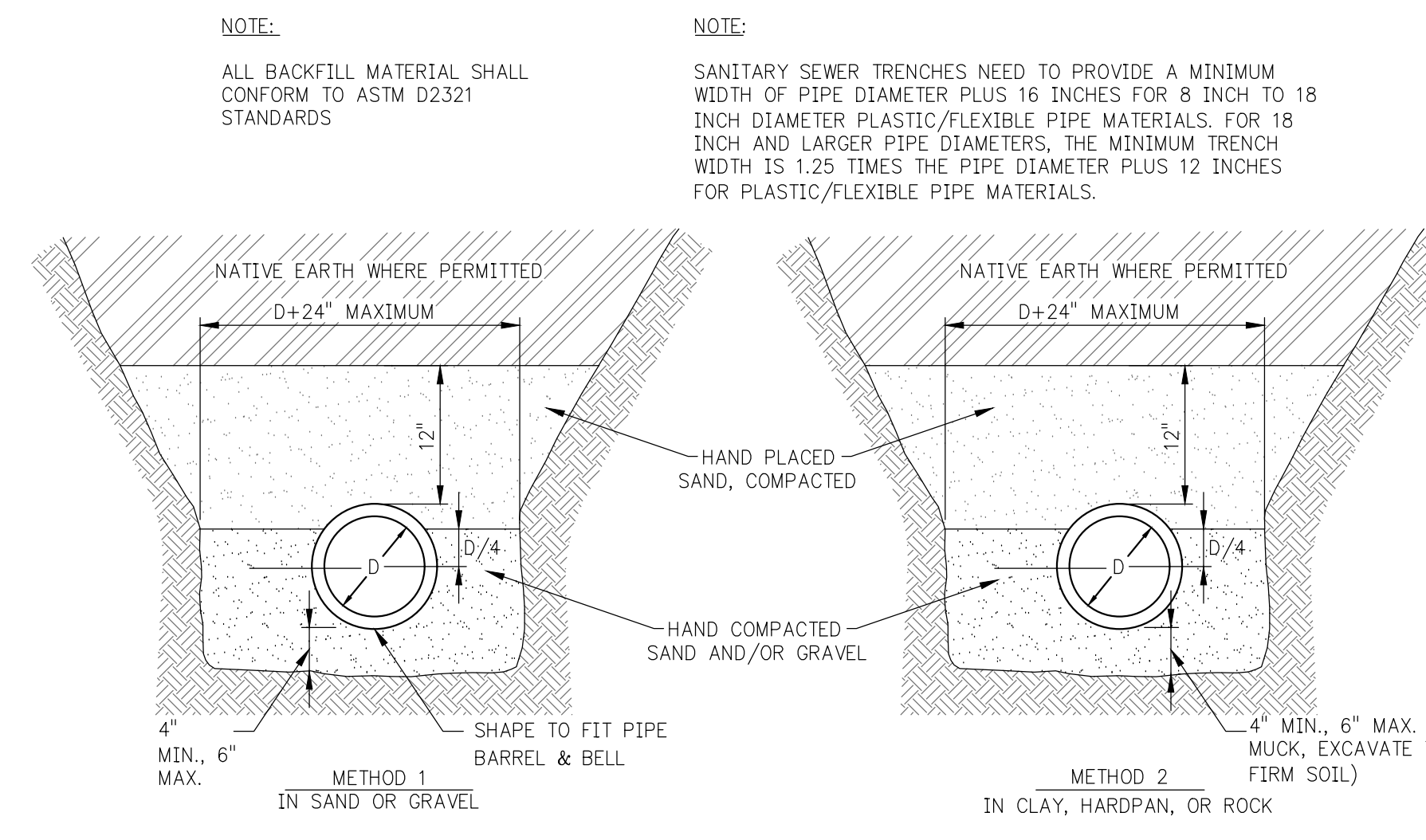
**PROPOSED WELL DETAIL**

NO SCALE

PROPOSED WELL	
LOCATION	ESTIMATED DEPTH
STATIC WATER LEVEL	235'
TOP OF PUMP	250'
TOP OF SCREEN	260'
WELL DEPTH	280'

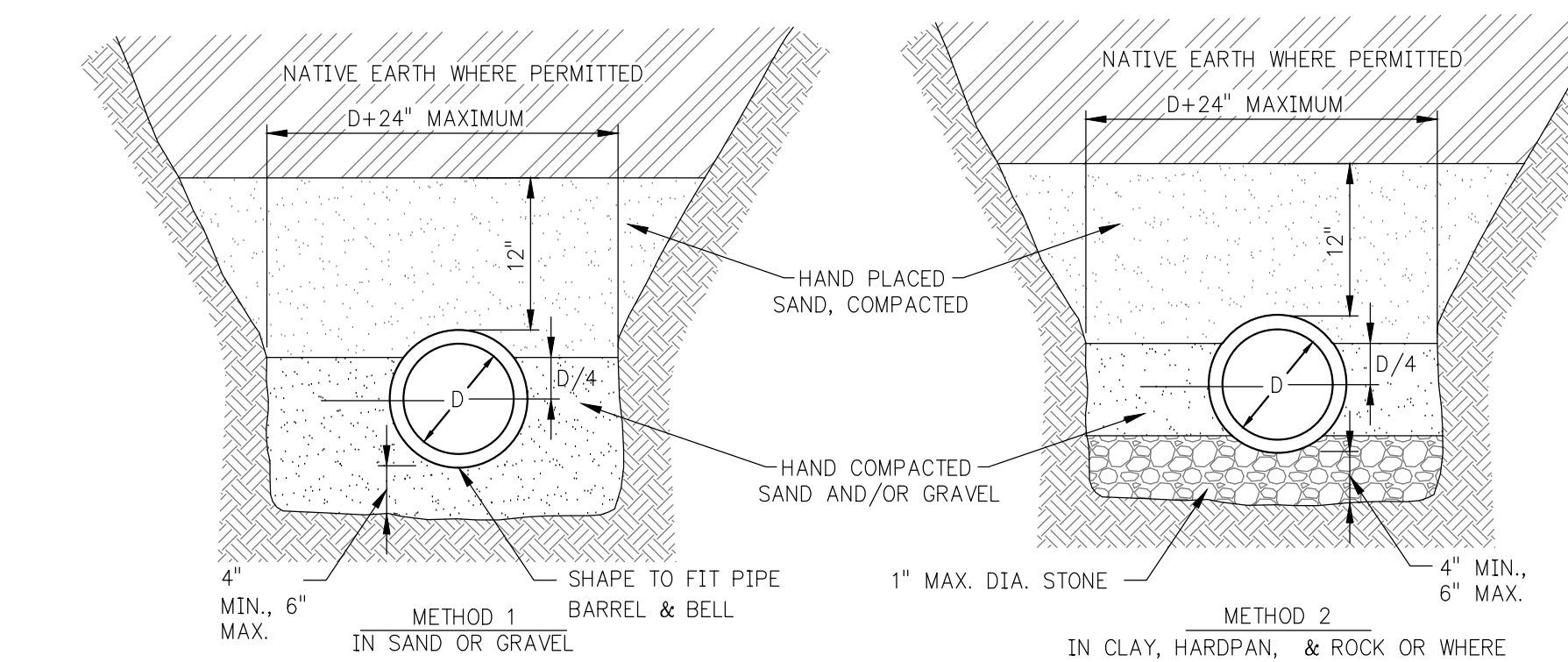
**WELL CONSTRUCTION NOTES**

- CONTRACTOR IS RESPONSIBLE FOR INSTALLING, TESTING, AND DISINFECTING PROPOSED PRODUCTION WELL IN COMPLIANCE WITH THE SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF DRILLING FLUIDS OFFSITE AND RESTORING AND MAINTAINING SITE CONDITIONS INCLUDING STRAW BALES, SILT TRAPS, OR OTHER MEANS TO PREVENT SOIL EROSION.
- PROPOSED PRODUCTION WELL CONSTRUCTION, PUMP, AND MOTOR SIZE ARE BASED UPON AVAILABLE WELL LOGS IN THE AREA. CONTRACTOR IS RESPONSIBLE TO VERIFY BASED UPON ACTUAL CONDITIONS AND AQUIFER TESTING AS COORDINATED WITH MAWSA.
- CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY MATERIALS AND LABOR TO COMPLETE PROPOSED MONITORING AND PRODUCTION WELL INSTALLATION INCLUDING POWER SUPPLY, WATER, AND FUEL TO COMPLETE WORK AT NO ADDITIONAL COST TO THE PROJECT.
- CONSTRUCTION OF PROPOSED WELLS SHALL CONFORM TO MICHIGAN WELL CONSTRUCTION CODE AND PUMP INSTALLATION CODE (PART 127, ACT 368, PA 1978 AND ADMINISTRATIVE RULE).
- ALL WORK SHALL BE PERFORMED BY A CERTIFIED/LICENSED WELL DRILLER IN THE STATE OF MICHIGAN. COORDINATION OF ALL WORK SHALL BE DONE WITH GOURDIE-FRASER, INC. PRIOR TO BEGINNING.
- CONTRACTOR IS RESPONSIBLE FOR APPROVAL FROM APPROPRIATE REGULATORY AGENCY W/ REGARD WORK INCLUDING APPLICABLE PERMITS AND FEES INCLUDING LOCAL HEALTH DEPARTMENT. ENGINEER WILL BE RESPONSIBLE FOR OBTAINING MDEQ CONSTRUCTION PERMIT ONLY.
- TEST WELL SHALL BE CONSTRUCTED OF 8" MINIMUM INSIDE DIAMETER WELL CASING, AND BE STANDARD WEIGHT SDR 17 PVC OR BETTER IN ACCORDANCE W/ ASTM D480-90 BY MEANS AS DETERMINED BY DRILLER. WELL SHALL BE GROUT IN ACCORDANCE WITH DWRP POLICY AND PROCEDURE 03-016.
- WELL SCREEN SHALL BE S.S. CAPABLE OF PRODUCING A MINIMUM OF 85 GPM W/ MAXIMUM ENTRANCE VELOCITY OF 0.1 FPS.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF DRILLING FLUIDS GENERATED DURING DRILLING OFF SITE AND RESTORING SITE CONDITIONS/MAINTAIN SOIL EROSION MEASURES. OWNER WILL PROVIDE AVAILABILITY OF ONSITE WATER AND ACCESS TO PROPOSED WELL SITE.
- WELL DRILLER IS REQUIRED TO PERFORM A STEP DRAWDOWN AQUIFER TEST ON TEST WELL FOR A TIME PERIOD OF NOT LESS THAN 8 HOURS INCLUDING PUMPING CONSISTENTLY @ 2 HOUR INTERVALS FOR 70, 95, AND 120 GPM. CONTRACTOR SHALL PROVIDE ALL NECESSARY EQUIPMENT TO PERFORM TEST INCLUDING PUMP/MOTOR, GENERATOR, FLOW METER, AND MEASUREMENTS @ OBSERVATION POINT. CONTRACTOR WILL ALSO BE REQUIRED TO PERFORM WATER QUALITY SAMPLING & RESULTS FROM CERTIFIED LAB. ALL TO BE PERFORMED IN ACCORDANCE WITH SAFE DRINKING ACT AND DWRP POLICIES AND PROCEDURE W0-03-003. ALL DATA SHALL BE SUBMITTED TO ENGINEER INCLUDING FINAL WELL LOGS WITHIN 60 DAYS OF COMPLETION.
- CONTRACTOR SHALL INSTALL PERMANENT PUMP/MOTOR AS COORDINATED WITH ENGINEER FOR VERIFICATION OF PUMP/MOTOR REQUIREMENT BASED UPON AQUIFER TEST. DROP PIPE/WIRE SHALL BE INSTALLED IN ACCORDANCE WITH MDEQ AND NEC STANDARDS.
- WELL SHALL BE DISINFECTED IN ACCORDANCE WITH ANWA 654



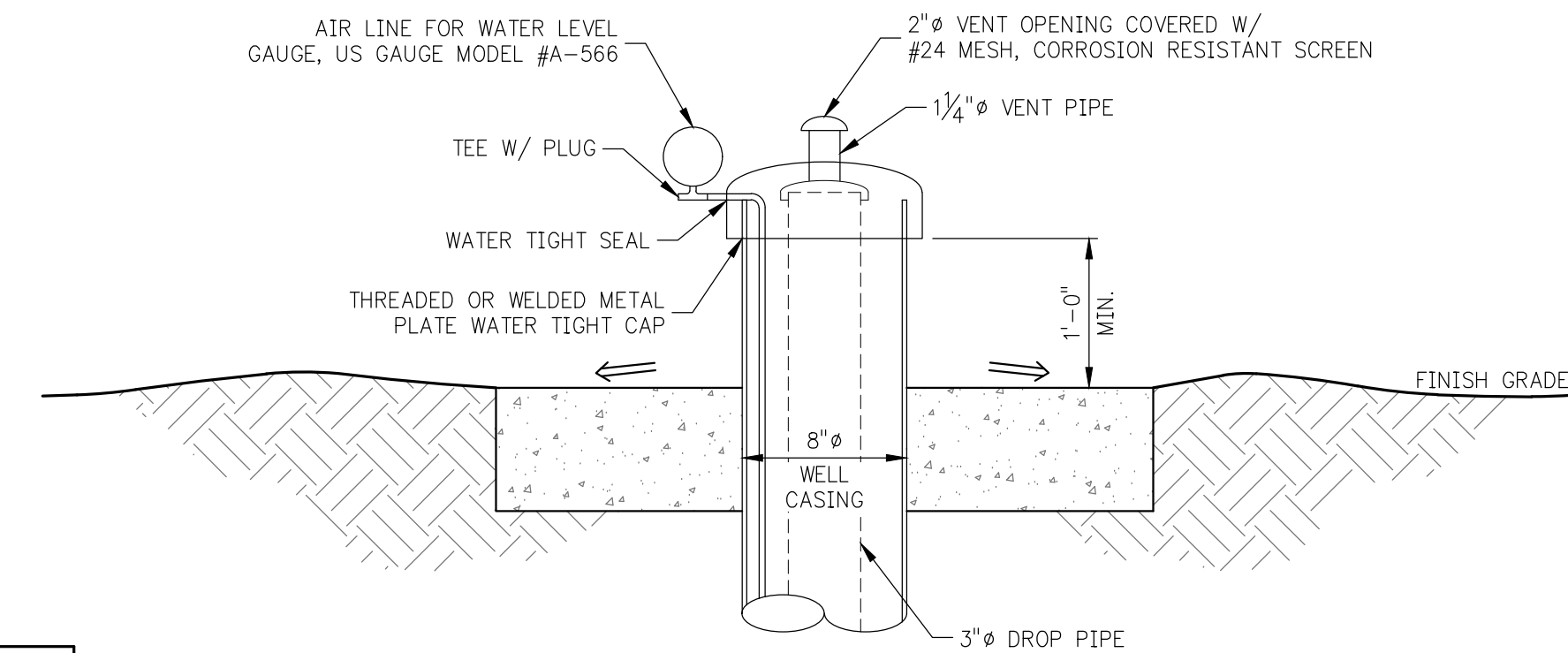
**PIPE BEDDING DETAIL**

(CLASS A) NO SCALE



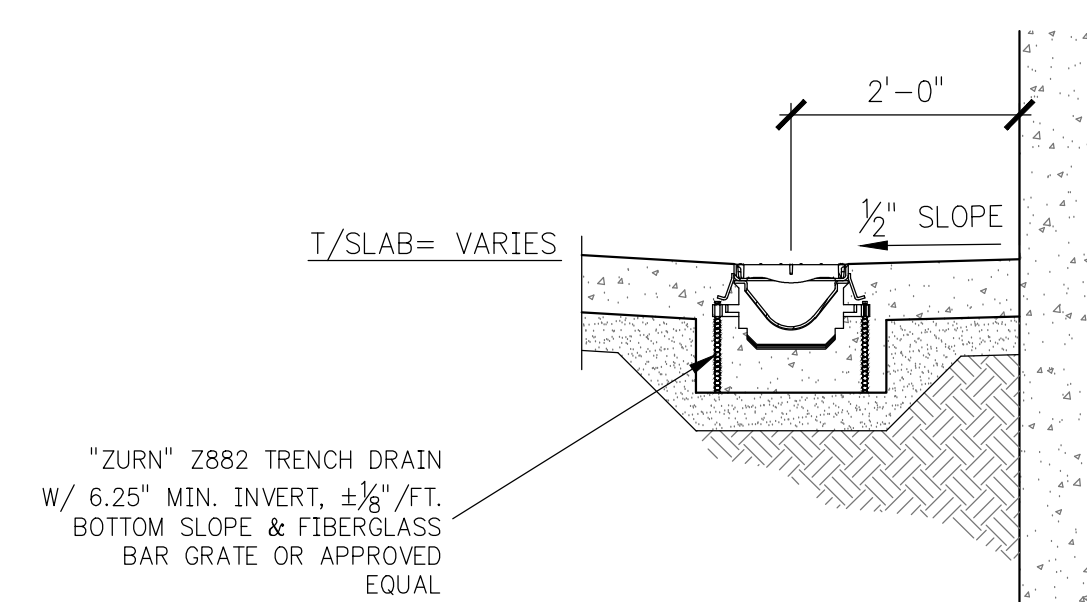
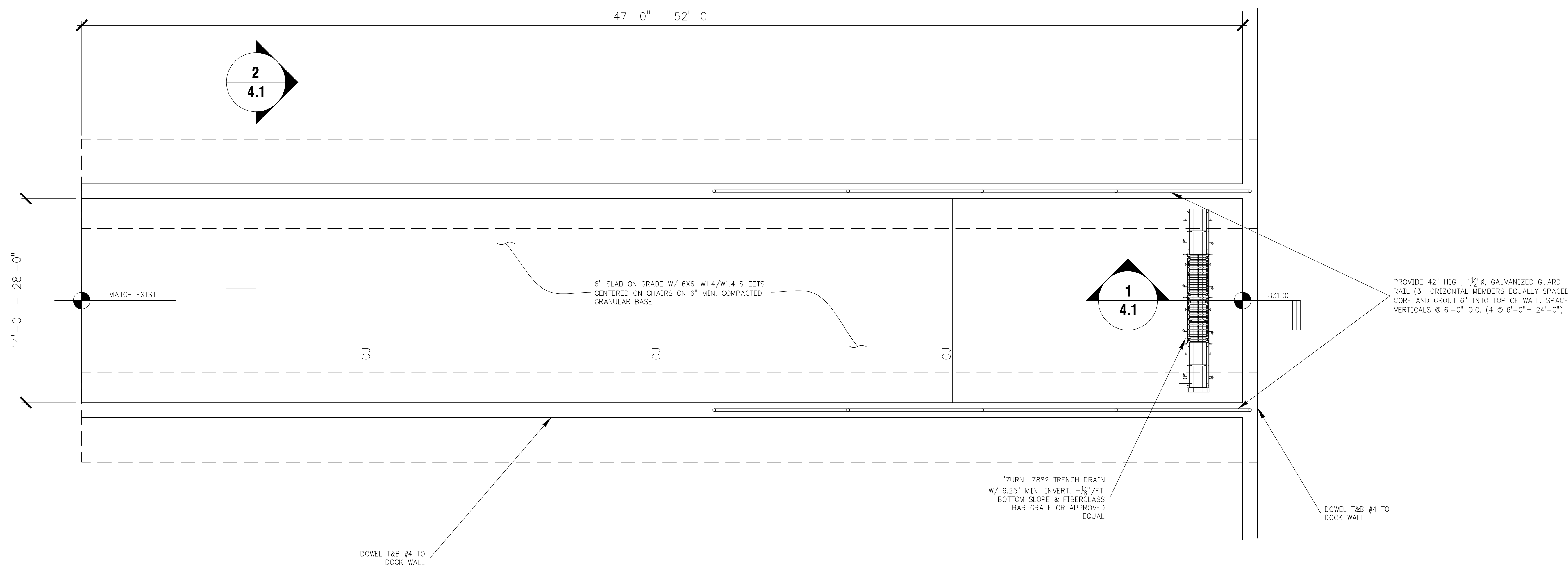
**PIPE BEDDING DETAIL**

(CLASS B) NO SCALE



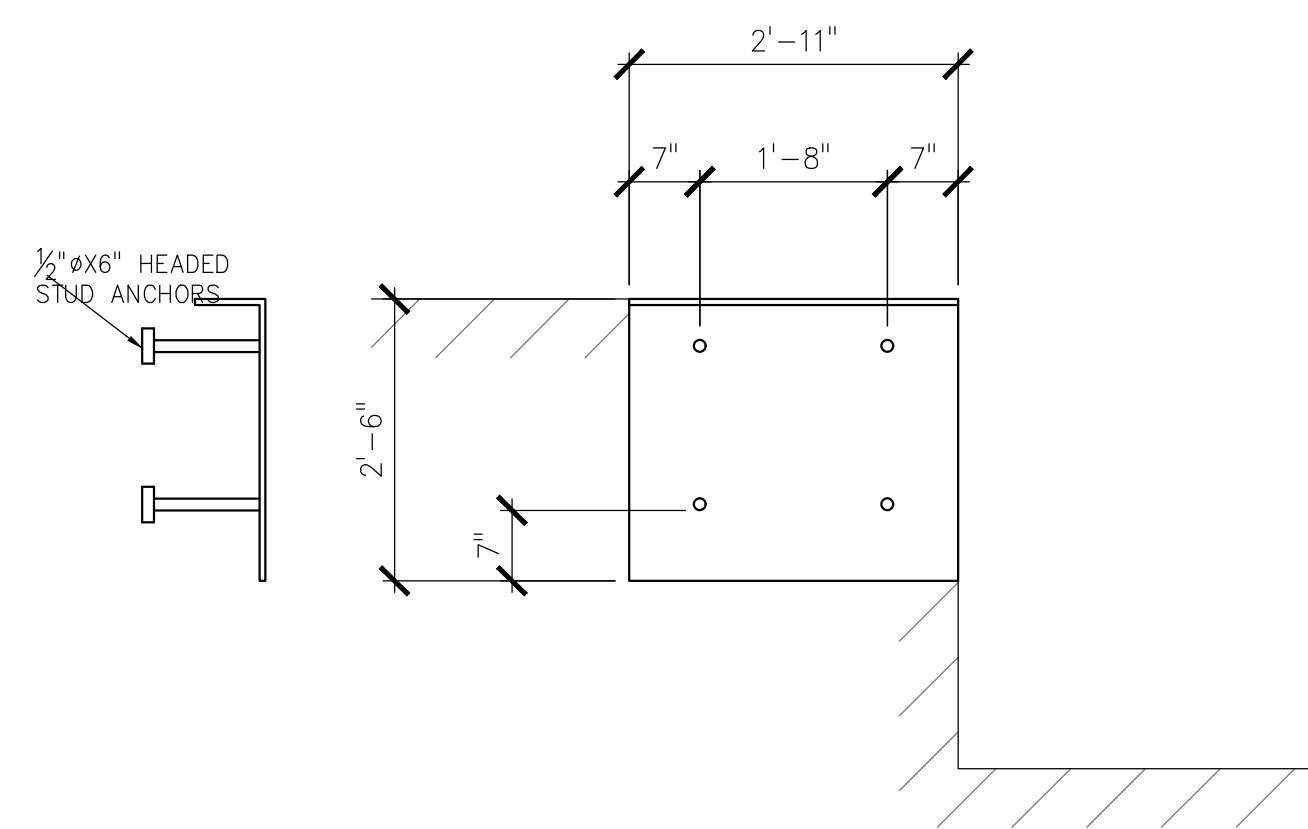
**WELL CAP AND VENT DETAIL**

NO SCALE

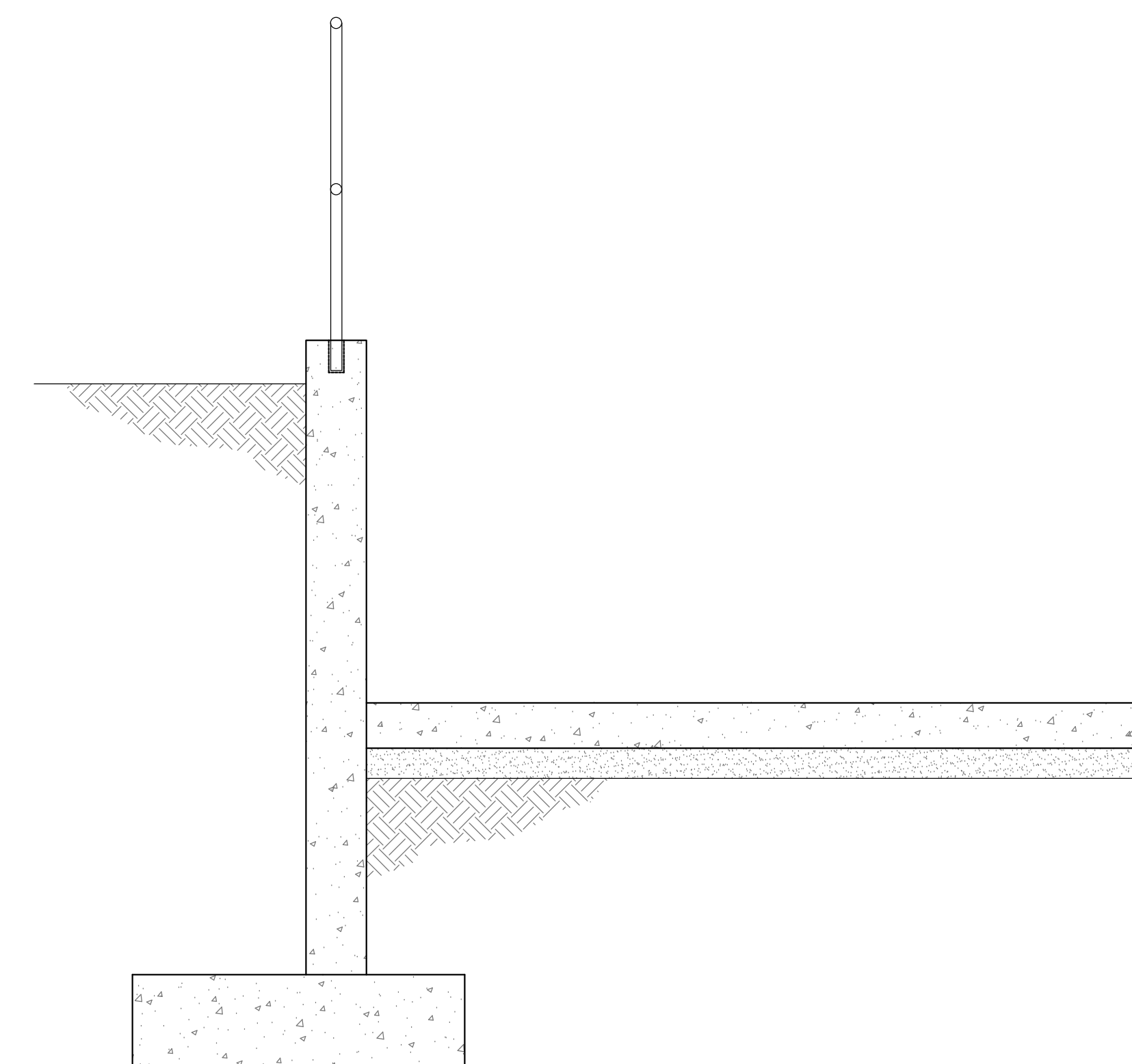


**1**  
4.1

**SECTION**  
NO SCALE

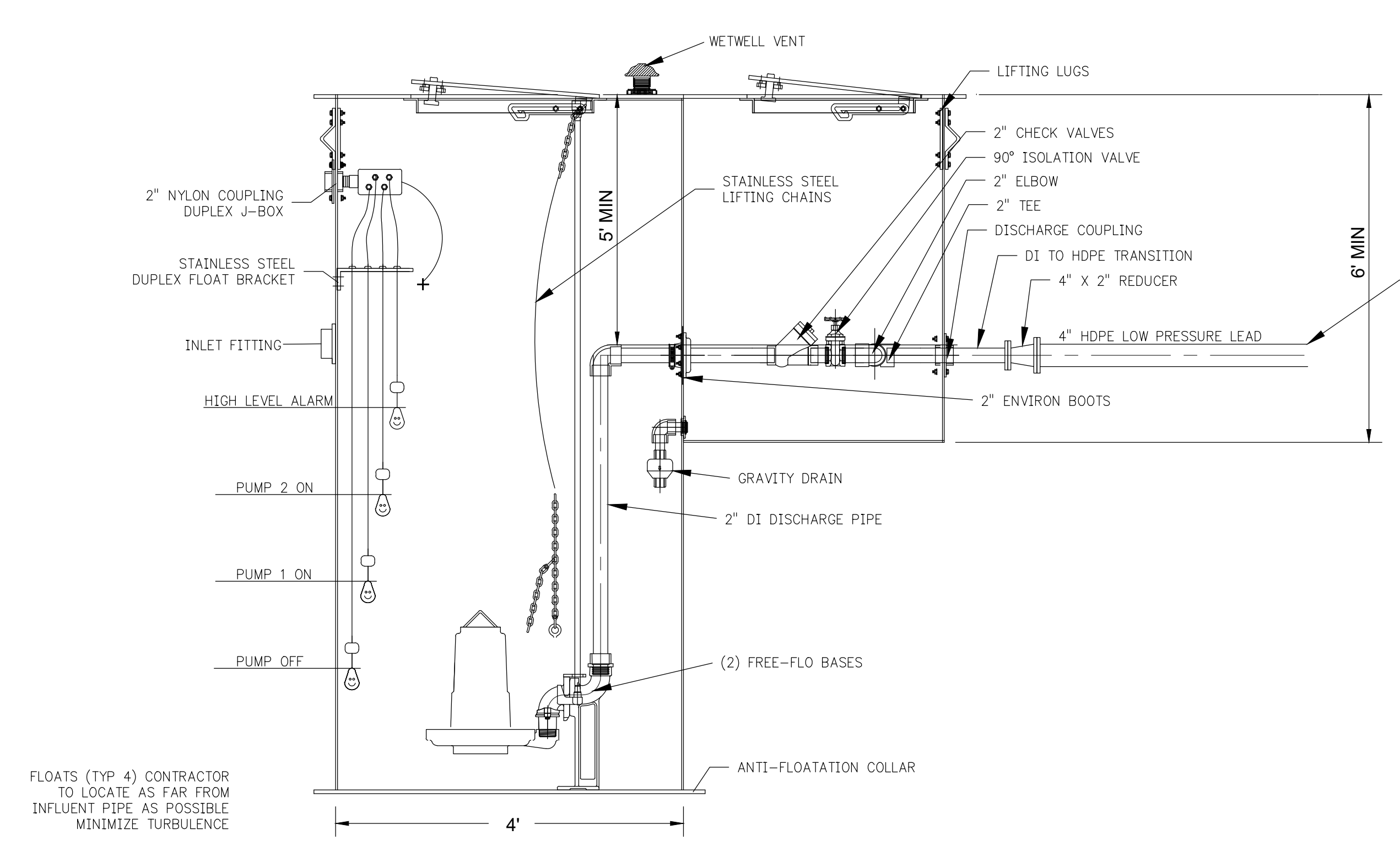


**BUMPER MOUNTING PLATE DETAIL**  
NO SCALE



**2**  
4.1

**SECTION**  
NO SCALE



**PUMP STATION DETAIL**  
SCALE: NOT TO SCALE

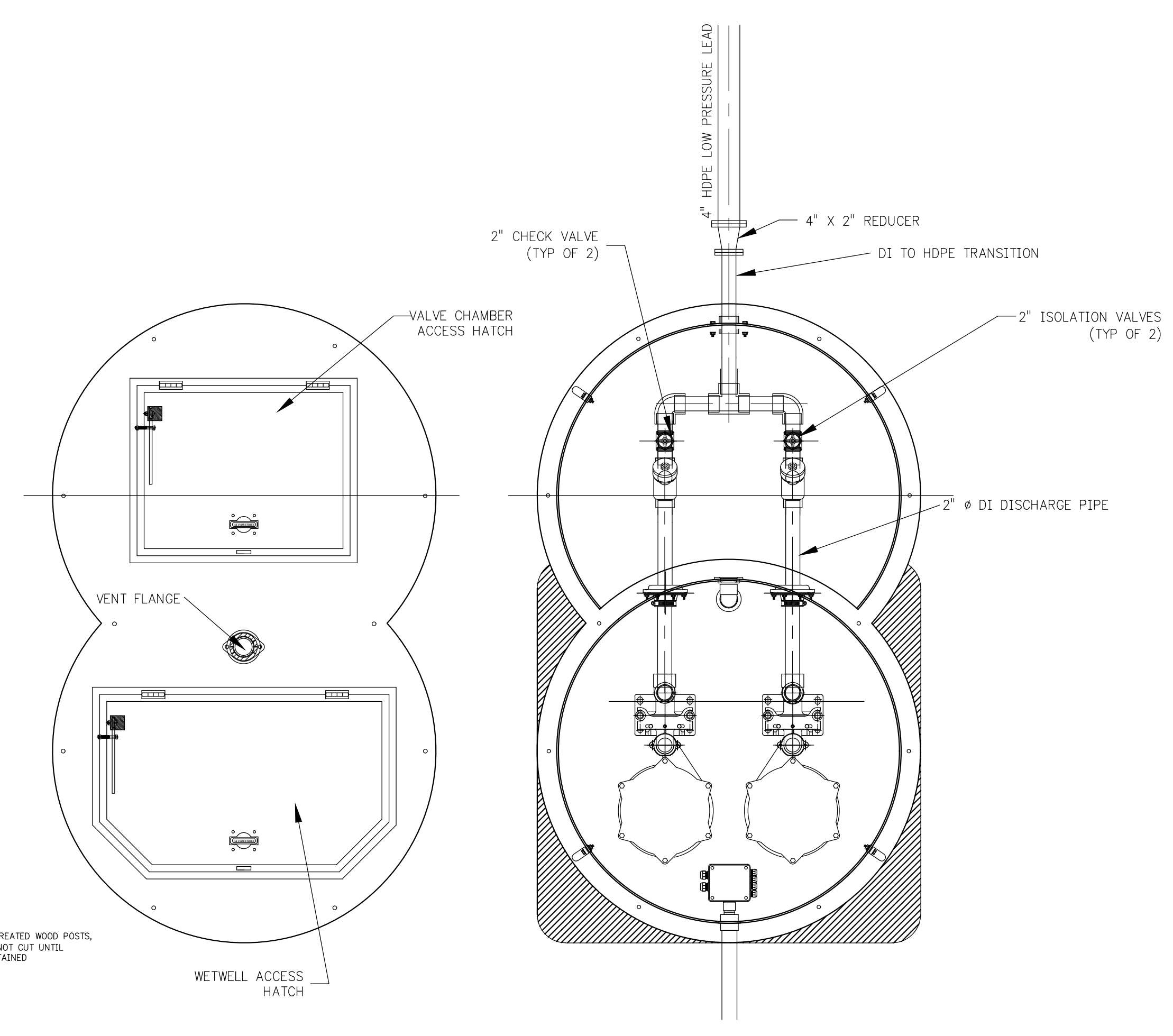
WET WELL DIA.	RIM	DEPTH	SEWER INV. (INFLUENT)	LEAD SIZE	POWER REQUIRED
4' MIN.	830.80±	13.80'	821.75	8"	240V, 3ø

**PUMP STATION NOTES**

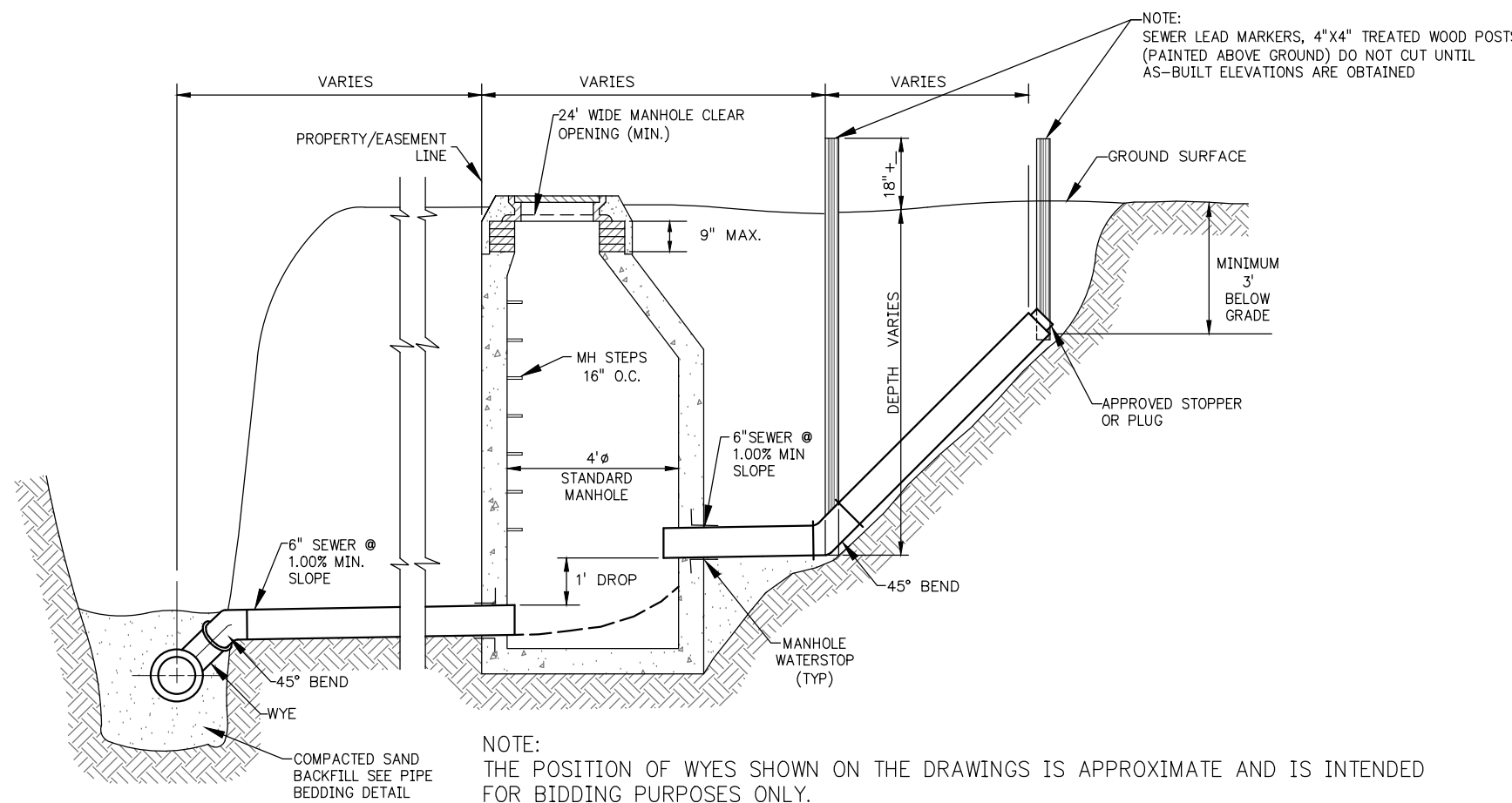
- STATION PACKAGE SHALL BE STANDARD DUPLEX SUBMERSIBLE STATIONS, MANUFACTURED BY FLYGT, HYDRAMATIC, MYERS OR ENGINEER APPROVED EQUAL AND INCLUDE:
    - 4" DIA. FIBERGLASS SUMP AND 24" MIN. ACCESS OPENING AND COVER.
    - TWO (2) GRINDER PUMPS.
    - E-Z OUT GUIDE RAILS.
  - CONTROL SYSTEM:
    - AUTOMATIC WITH FOUR (4) FLOATS
      - MANUAL INDEPENDENT OF FLOATS
      - LEAD/LAG ALTERNATION
    - AUDIBLE/VISUAL ALARM SYSTEM:
      - PUMP FAILURE
      - HIGH WATER LEVEL
      - POWER FAILURE
      - SEAL FAILURE
  - CONTROL PANEL, LOCKABLE NEMA 4X ENCLOSURE:
    - MAIN DISCONNECT
    - MOTOR STARTERS WITH UNDER VOLTAGE RELAYS AND OVERLOAD PROTECTION
    - H-O-A SWITCHES
    - CONTROL CIRCUIT BREAKER
    - ELAPSED TIME METERS
    - SPACE HEATER W/ THERMOSTAT
    - GENERATOR SET RECEPTACLE
    - MANUAL TRANSFER SWITCH
    - APPLICABLE FUSES, CIRCUIT BREAKERS, SWITCHES AND RELAYS
  - JUNCTION BOX (EXTERNALLY LOCATED)
  - INTERNAL DISCHARGE PIPING AND VALVES
  - O&M MANUALS, START-UP, AND WARRANTY PER SPECIFICATIONS
- WET WELL ALARM LEVELS SHALL BE DETERMINED AT THE TIME OF INSTALLATION BASED ON DESIGN FLOWS AND FINAL ELEVATIONS. TO BE COORDINATED WITH ENGINEER.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL SERVICE INCLUDING METER BASE INSTALLATION TO CONTROL PANEL AS COORDINATED WITH UTILITY COMPANY AND ENGINEER AND SIZED APPROPRIATELY TO SERVICE STATION.
  - PROPOSED FLOW CONDITIONS HAVE BEEN COMPUTED BASED ON ASSUMPTIONS OF SEWER LEAD DEPTHS AND LOCATIONS. DURING CONSTRUCTION THE CONTRACTOR SHALL FIELD VERIFY AND COORDINATE WITH ENGINEER AND TO ADJUST PUMPS AS NECESSARY BASED UPON FIELD INFORMATION AT NO ADDITIONAL COST TO THE PROJECT.
  - ALL WET WELL CONTROLS, FLOATS, AND WIRING SHALL BE INTRINSICALLY SAFE.
  - INTRINSICALLY SAFE CIRCUITS SHALL BE ISOLATED FROM NON-INTRINSICALLY SAFE CIRCUITS PER NEC.
  - ALL CONDUITS, JUNCTION BOXES, CABLE PENETRATIONS, STRUCTURAL MOUNTS, ETC. SHALL BE SEALED OFF IN ACCORDANCE WITH NEC ARTICLE 500 TO SEPARATE THE WET WELL FROM THE CONTROL PANEL. SEAL LOCATIONS RELATIVE TO JUNCTION BOXES SHALL BE PER NEC.
  - ALL ELECTRICAL EQUIPMENT, WIRING, AND METHODS WITHIN THE

- WET WELL SHALL BE SUITABLE FOR CLASS 1, GROUP D, DIVISION 1 LOCATION AND SHALL COMPLY WITH THE NATIONAL ELECTRIC CODE.
- CONTROL PANEL SHALL BE CONSTRUCTED IN ACCORDANCE WITH APPLICABLE NEC AND NFPA STANDARDS.
- SUBMERSIBLE PUMP MOTOR CORDS SHALL BE DESIGNED FOR FLEXIBILITY AND SERVICEABILITY UNDER CONDITIONS OF EXTRA HARD USAGE AND SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRIC CODE FOR FLEXIBLE CORDS IN WASTE WATER PUMP STATIONS.
- CONTRACTOR SHALL BE RESPONSIBLE TO VERIFY WATER TABLE AND COORDINATE WITH ENGINEER FOR BUOYANCY TO ADJUST BALLAST VOLUME AND INSTALL AS NECESSARY AT NO ADDITIONAL COST TO THE PROJECT. APPROX. 5 CY OF EXTERNAL CONCRETE BALLAST ARE ESTIMATED AND SHALL BE PROVIDED IN ADDITION TO INTEGRAL BASE SHOWN ON THE DRAWING PER STATION.
- ELECTRICAL SERVICE, JUNCTION BOX, METER BASE, AND ANY OTHER EQUIPMENT PROVIDING POWER TO THE CONTROL PANEL AND INSTALLATION OF SHALL BE COORDINATED WITH CHERRYLAND ELECTRIC AND PUMP STATION SUPPLIER.
- STAINLESS STEEL TO BE USED FOR ALL ANGLE IRON, PLATES, BRACKETS, AND FITTINGS INSIDE PUMP STATION. ALL CONDUIT TO BE LISTED CORROSION RESISTANT AND RIGID.
- ALL INTERNAL PIPING/VALVES WITHIN WET WELL, VALVE/BYPASS MANHOLE, AND BETWEEN TO BE FLANGED DUCTILE IRON AND PAINTED COMPLIANT WITH SPECIFICATIONS.
- STATION TO BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS TO AVOID WARRANTY ISSUES.
- CONTRACTOR SHALL INSTALL ALL PIPING/CONDUIT RESTRAINTS AND SECURELY ANCHOR AS NECESSARY TO PROVIDE A RIGID STRUCTURE.
- MANUFACTURER SHALL INSTALL A CONCRETE FLOOR (FILLET BOTTOM) WITH A MINIMUM SLOPE OF 1:1 TO THE HOPPER BOTTOM WITHIN WET WELL. THE HORIZONTAL AREA OF THE HOPPER BOTTOM SHALL BE NO GREATER THAN NECESSARY FOR PROPER INSTALLATION AND FUNCTION OF THE INLET.

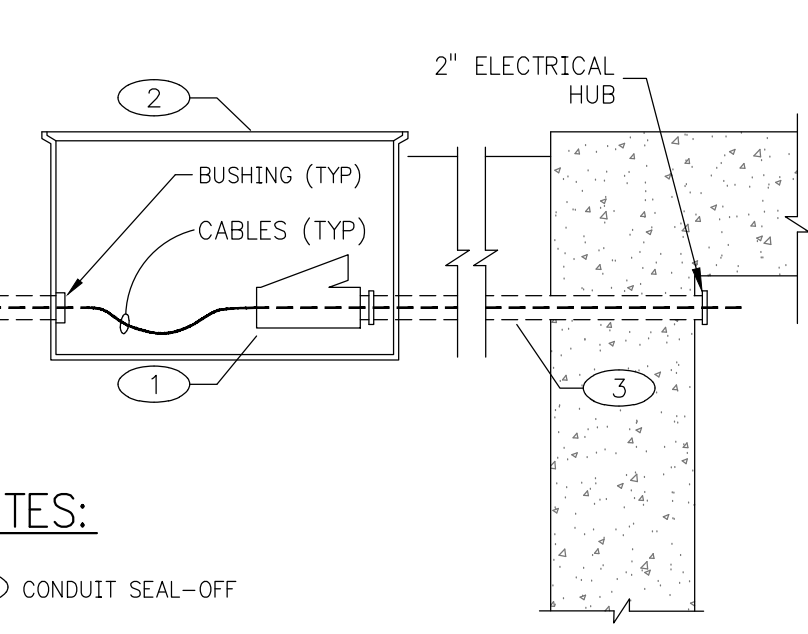
CONTRACTOR TO INSTALL 20' OUTSIDE LIMITS OF STATION AND CAP. REMAINDER OF LEAD TO BE INSTALLED BY OTHERS.



**PUMP STATION PLAN VIEW**  
SCALE: NOT TO SCALE

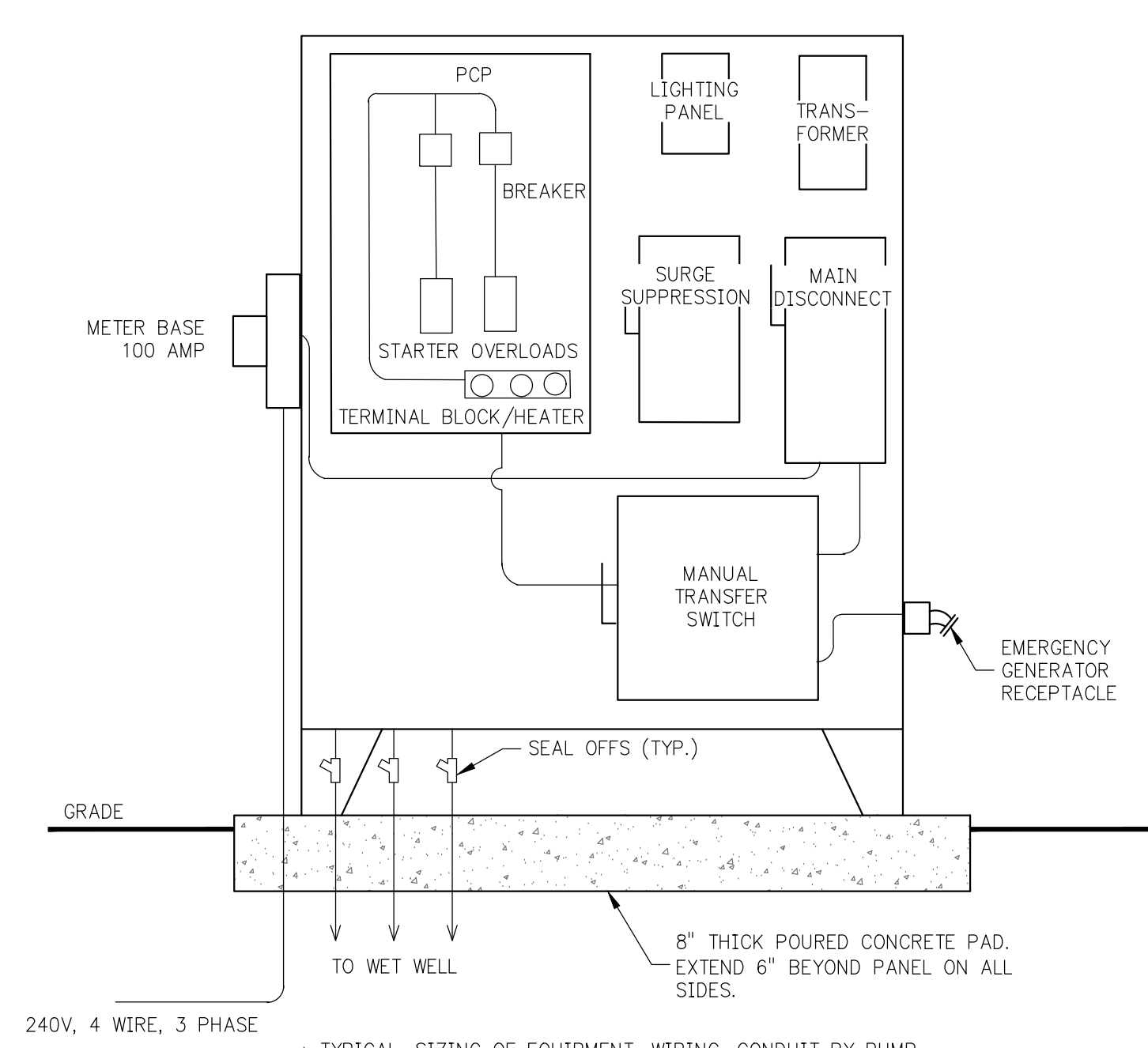


**INDUSTRIAL/COMMERCIAL IPP SURVEILLANCE MANHOLE DETAIL**  
NO SCALE



**JUNCTION BOX DETAIL**  
SCALE: NOT TO SCALE

- NOTES:**
- CONDUIT SEAL-OFF
  - FLUSH MOUNTED ACCESS BOX
  - RIGID CONDUIT FOR GROUND WIRE, CONTRACTOR RESPONSIBLE TO SIZE TO MEET LOAD REQUIREMENTS.

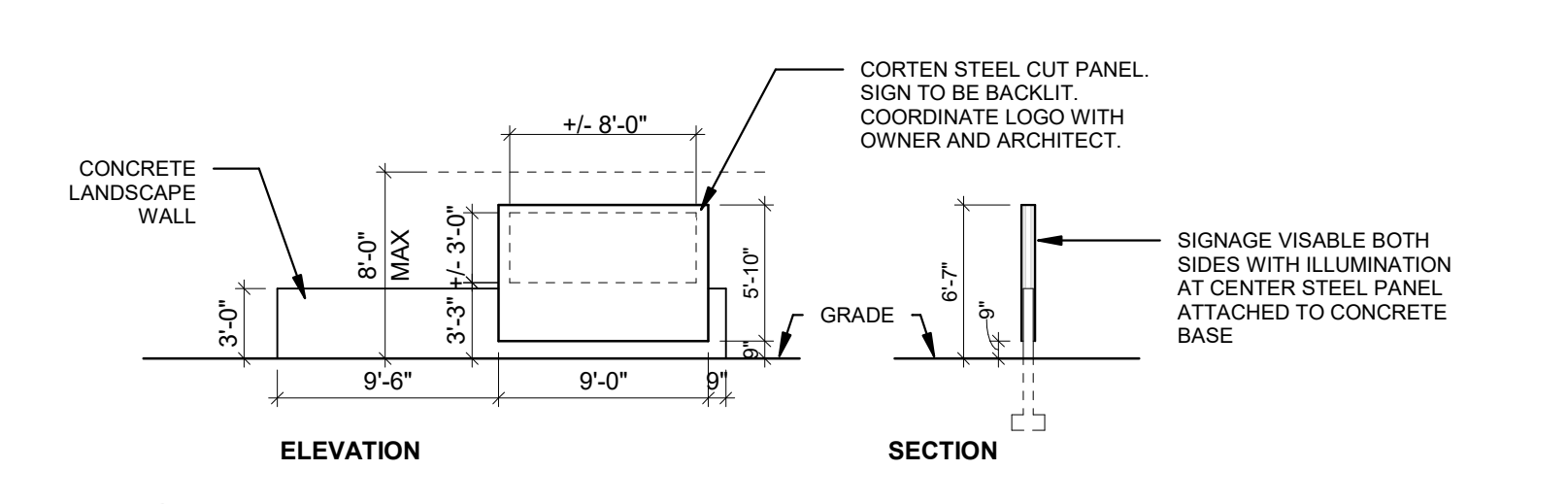
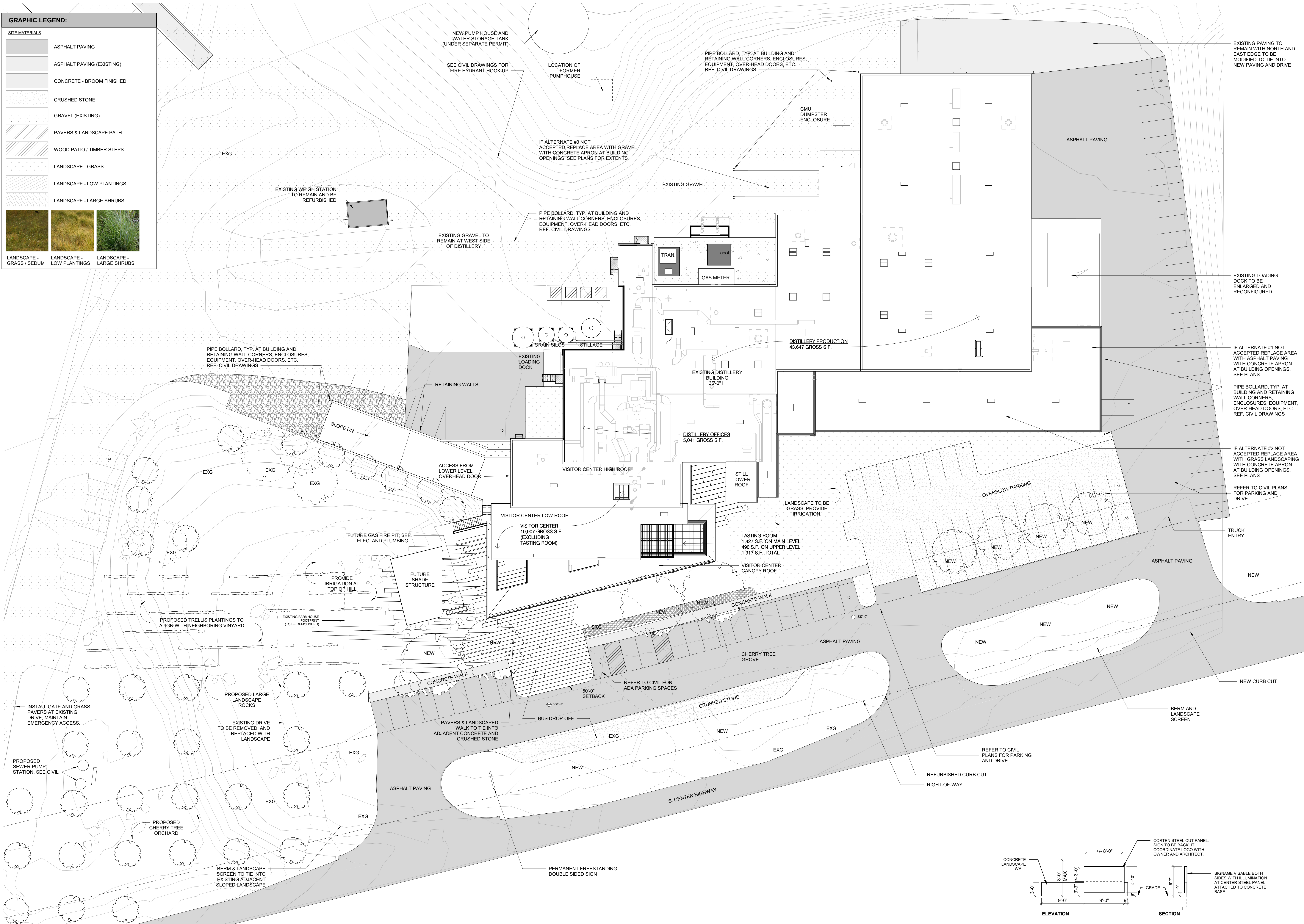


**ELECTRICAL RISER DETAIL**  
SCALE: NOT TO SCALE

\* TYPICAL SIZING OF EQUIPMENT, WIRING, CONDUIT BY PUMP MANUFACTURER AND TO BE COMPLIANT WITH NEC AND MEET NOL OPERATIONS.

**GRAPHIC LEGEND:**

SITE MATERIALS	
	ASPHALT PAVING
	ASPHALT PAVING (EXISTING)
	CONCRETE - BROOM FINISHED
	CRUSHED STONE
	GRAVEL (EXISTING)
	PAVERS & LANDSCAPE PATH
	WOOD PATIO / TIMBER STEPS
	LANDSCAPE - GRASS
	LANDSCAPE - LOW PLANTINGS
	LANDSCAPE - LARGE SHRUBS
	LANDSCAPE - GRASS / SEDUM
	LANDSCAPE - LOW PLANTINGS
	LANDSCAPE - LARGE SHRUBS



**2 MONUMENT STREET SIGN**  
SCALE: 1/8" = 1'-0"

**1 ARCHITECTURAL SITE PLAN**  
SCALE: 1" = 20'-0"

**MATHISON | MATHISON ARCHITECTS**  
907 17TH STREET NW  
GRAND RAPIDS, MI 49503  
WWW.MATHISONARCHITECTS.COM

**TRAVERSE CITY WHISKEY COMPANY ARCHITECTS**  
9432 S. CENTER HIGHWAY TRAVERSE CITY, MI

**CONSULTANTS:**  
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4650 Plainfield Avenue NE  
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**DAL KITA**  
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p: (303) 765.1295

**CONTRACTOR:**  
**Erhardt CONSTRUCTION**  
P.O. Box 1000  
Traverse City, MI 49684

FOR APPROVAL: 09/20/24  
A3: 11/29/23  
BIDS & PERMITS: 11/06/23  
**DRAWING ISSUE**

**DRAWING TITLE:**  
**ARCHITECTURAL SITE PLAN**

**AS1.0**

MMA JOB #20149  
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- EXTERIOR ELEVATION KEY NOTES**
- EXISTING EXTERIOR WALL TO BE PAINTED PF.8.
  - EXTERIOR GLAZING - FORMED METAL WALL PANEL.
  - EXTERIOR GLAZING - WOOD SIDING.
  - STEEL COLUMN TO RECEIVE HIGH-PERFORMANCE COATING.
  - EWG-1 WOOD FASCIA AND SOFFIT, 1/2" RIFTSAWN OAK, TONGUE AND GROOVE, EASED EDGE JOINTS.
  - WOOD CURTAIN WALL WITH ALUMINUM MULLION CAP EXTENSION.
  - ALUMINUM CURTAIN WALL.
  - ALUMINUM STOREFRONT.
  - EXTERIOR RAILING SYSTEM.
  - OVERHEAD DOOR.
  - PREFINISHED METAL ROOF EDGE 1.
  - PREFINISHED METAL ROOF EDGE 2.
  - COPPER RAIN CHAIN WITH ATTACHMENTS TO SOFFIT AND GROUND.
  - NONWALL ALUMINUM 640, FINISH TO MATCH CURTAINWALL ALUMINUM CAP FINISH.
  - CAST IN PLACE CONCRETE.
  - SHADE STRUCTURE, SEE DETAILS.
  - INFILL NEW CMU AT EXISTING OPENING, TOOTH IN AS REQUIRED.
  - NEW CMU PARAPET EXTENSION ON EXISTING CMU WALL, SEE SECTIONS FOR DETAILS.
  - NEW 1 FT TALL SIGNAGE, COORDINATE COLOR AND PLACEMENT WITH ARCHITECT.
  - ROOF DECK RAILING SYSTEM.
  - GRAIN SILOS, BY OWNER.
  - HANGER-SUPPORTED CANOPY.
  - SINGLE SUNSHADE SYSTEM, STOREFRONT MOUNTED, FINISH TO MATCH STOREFRONT, MOUNTING DISTANCE AND SPACING TBD IN FIELD MOCKUP.
  - CAST IN PLACE CONCRETE, RECKLI CONCRETE FORMLINER WITH BOARDFORMED PATTERN, CONFIRM EXACT PATTERN WITH ARCHITECT PRIOR TO INSTALLATION.

**MATHISON MATHISON ARCHITECTS**  
**DISTILLERY**  
**TRAVERSE CITY WHISKEY COMPANY**  
 9432 S. CENTER HIGHWAY TRAVERSE CITY, MI

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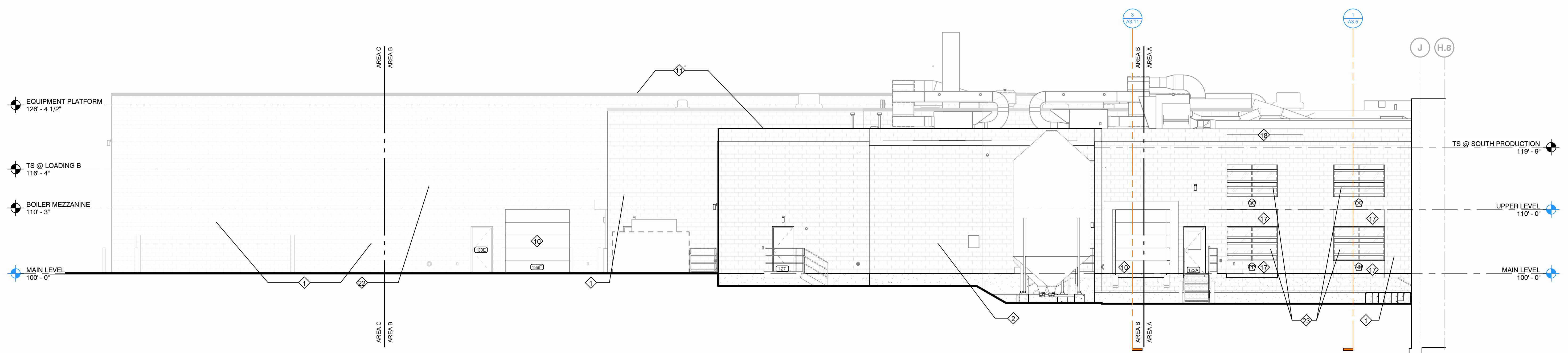
**CONTRACTOR:**  
**Erhard Construction**  
 10318 WOOD DR STE 200

FOR APPROVAL 09/20/24  
 BIDS & PERMITS 11/06/23  
**DRAWING ISSUE**

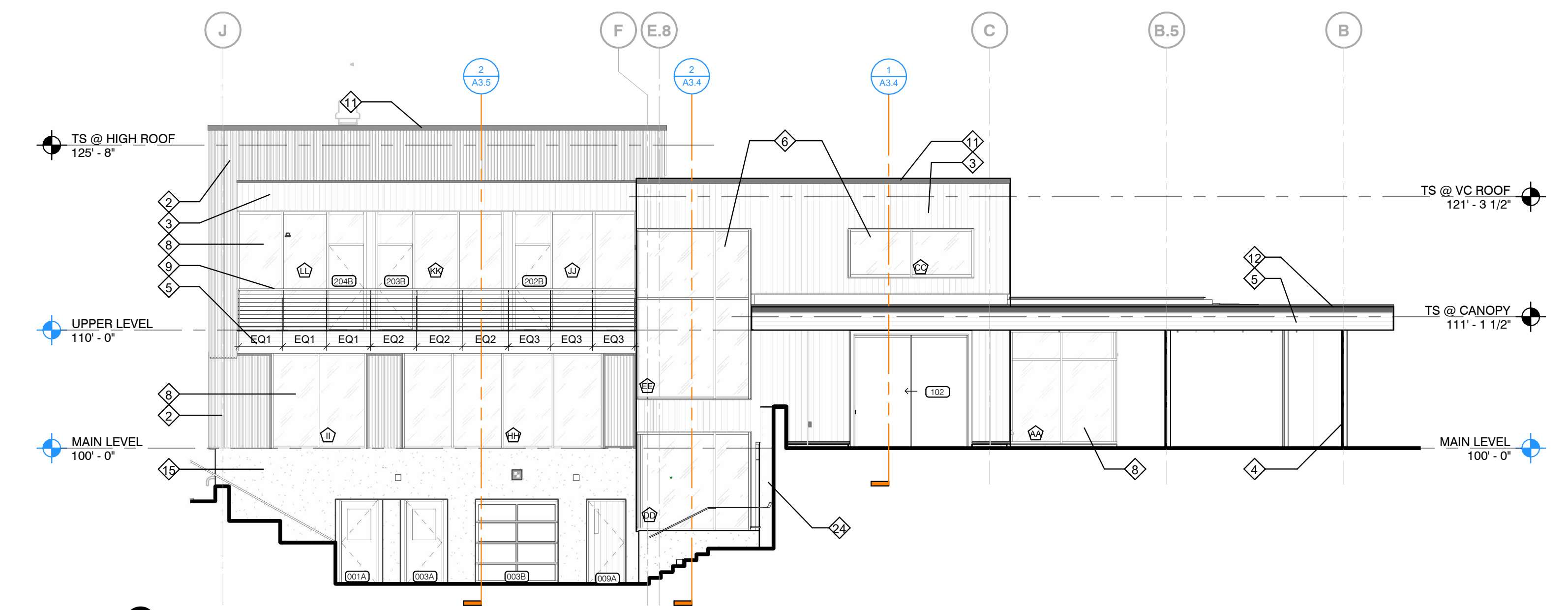
**DRAWING TITLE:**  
**EXTERIOR ELEVATIONS**

**A2.1**

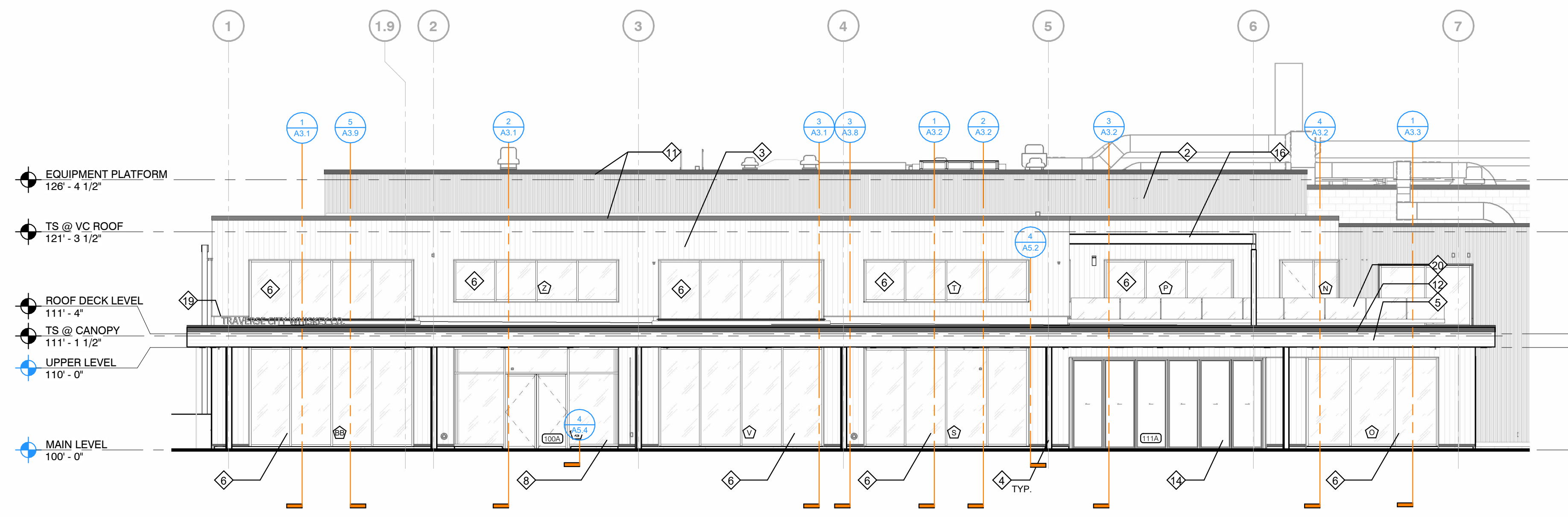
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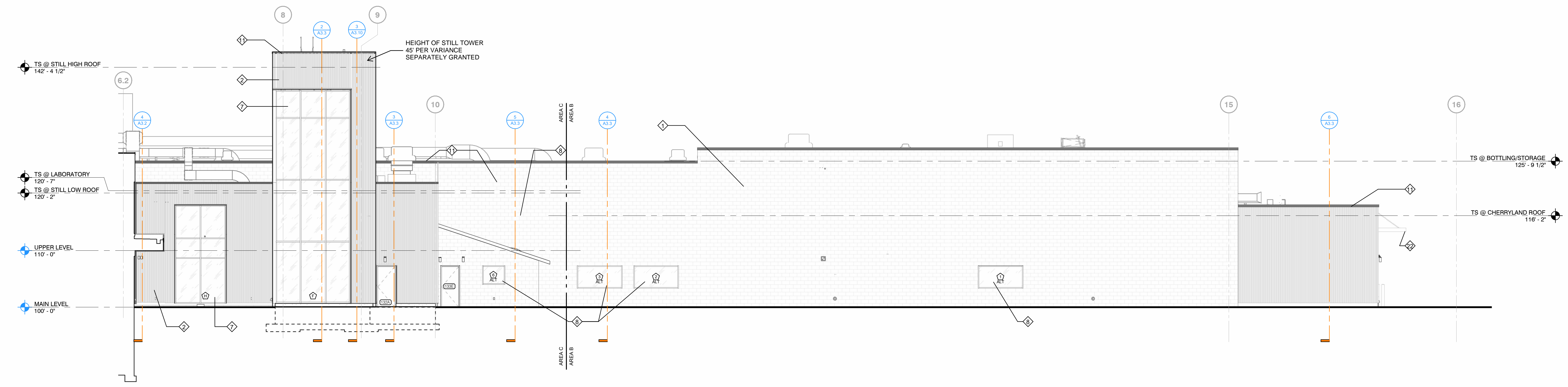
**4 EXTERIOR ELEVATION - SOUTH**  
 SCALE: 1/8" = 1'-0"



**3 EXTERIOR ELEVATION - SOUTH**  
 SCALE: 1/8" = 1'-0"

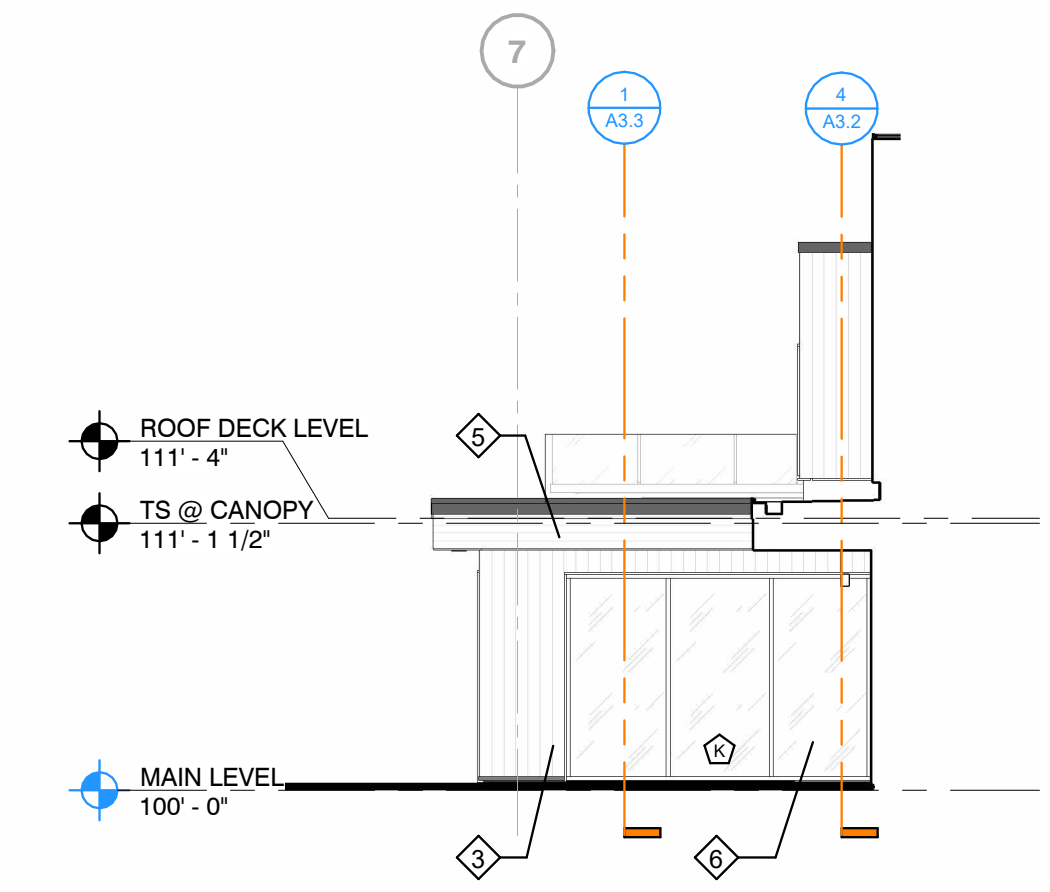


**2 EXTERIOR ELEVATION - EAST**  
 SCALE: 1/8" = 1'-0"

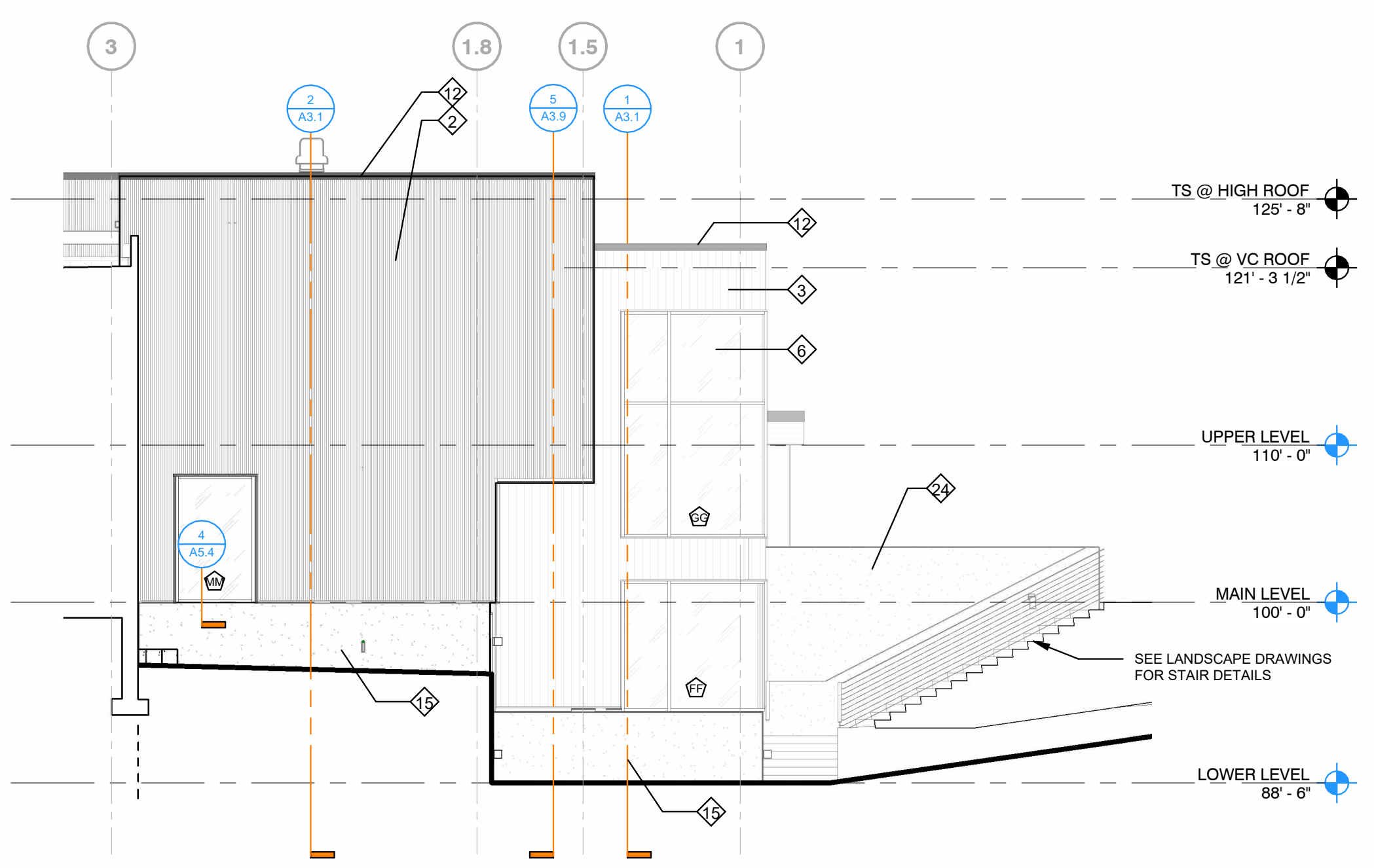


**1 EXTERIOR ELEVATION - EAST**  
 SCALE: 1/8" = 1'-0"

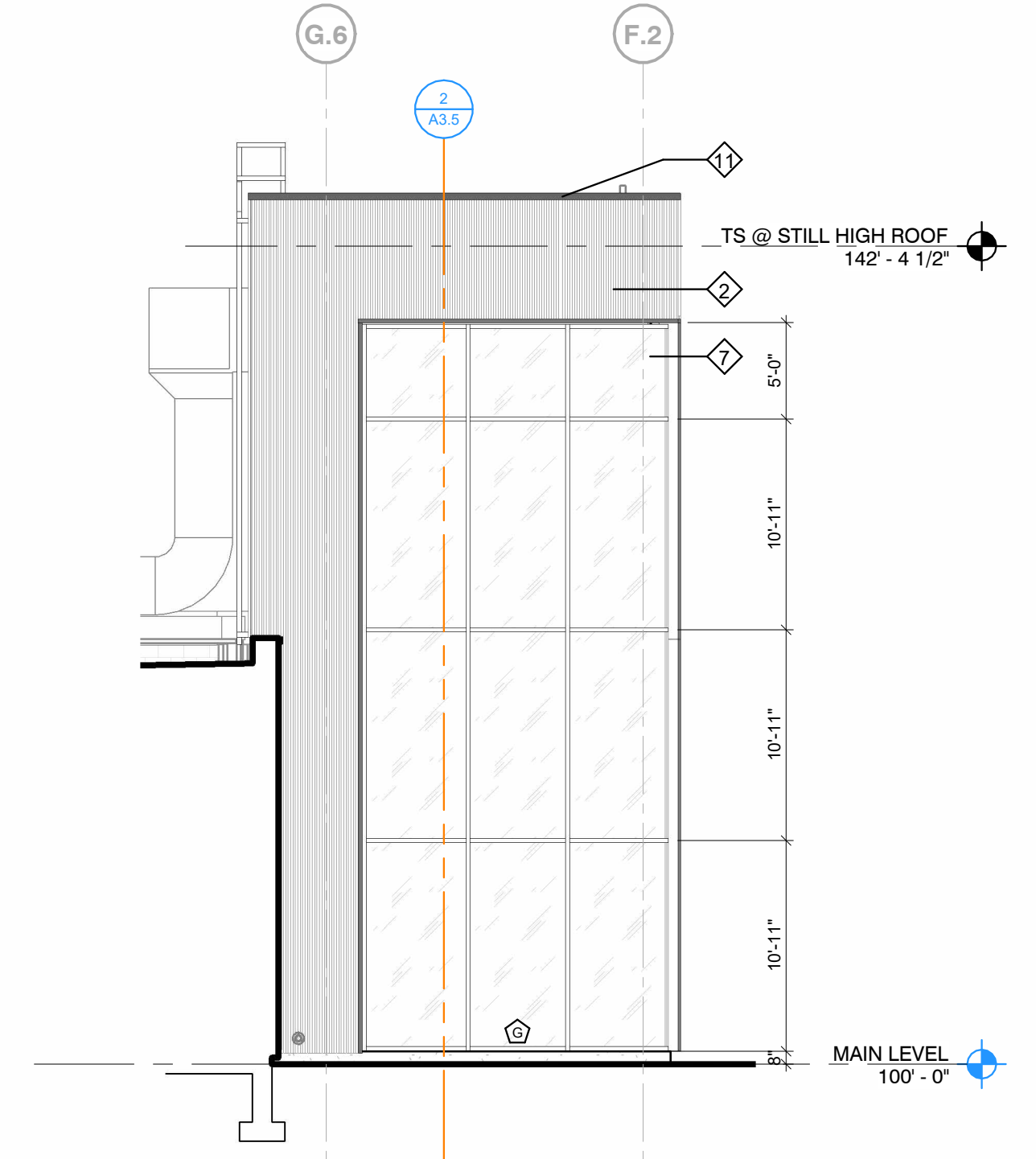
EXTERIOR ELEVATION KEY NOTES	
1	EXISTING EXTERIOR WALL TO BE PAINTED PT-4
2	EXTERIOR CLADDING - FORMED METAL WALL PANEL
3	EXTERIOR CLADDING - WOOD SIDING
4	STEEL COLUMN, TO RECEIVE HIGH-PERFORMANCE COATING
5	EWB-1 WOOD FASCIA AND SOFFIT, 1/8" RIFTSAWN OAK, TONGUE AND GROOVE, EASED EDGE JOINTS.
6	WOOD CURTAIN WALL WITH ALUMINUM MULLION CAP EXTERIOR
7	ALUMINUM CURTAIN WALL
8	ALUMINUM STOREFRONT
9	EXTERIOR RAILING SYSTEM
10	OVERHEAD DOOR
11	PREFINISHED METAL ROOF EDGE 1
12	PREFINISHED METAL ROOF EDGE 2
13	COPPER RAIN CHAIN WITH ATTACHMENTS TO SOFFIT AND GROUND
14	NANAWALL ALUMINUM 640, FINISH TO MATCH CURTAINWALL ALUMINUM CAP FINISH
15	CAST IN PLACE CONCRETE
16	SHADE STRUCTURE, SEE DETAILS
17	INFILL NEW CMU AT EXISTING OPENING, TOOTH IN AS REQUIRED
18	NEW CMU PARAPET EXTENSION ON EXISTING CMU WALL, SEE SECTIONS FOR DETAILS
19	NEW 1 FT TALL SIGNAGE, COORDINATE COLOR AND PLACEMENT WITH ARCHITECT
20	ROOF DECK RAILING SYSTEM
21	GRAIN SILOS, BY OWNER
22	HANGER-SUPPORTED CANOPY
23	SINGLE SUNSHADE SYSTEM, STOREFRONT MOUNTED, FINISH TO MATCH STOREFRONT, MOUNTING DISTANCE AND SPACING TBD IN FIELD MOCKUP
24	CAST IN PLACE CONCRETE, RECKLI CONCRETE FORMLINER WITH BOARD-FORMED PATTERN, CONFIRM EXACT PATTERN WITH ARCHITECT PRIOR TO INSTALLATION



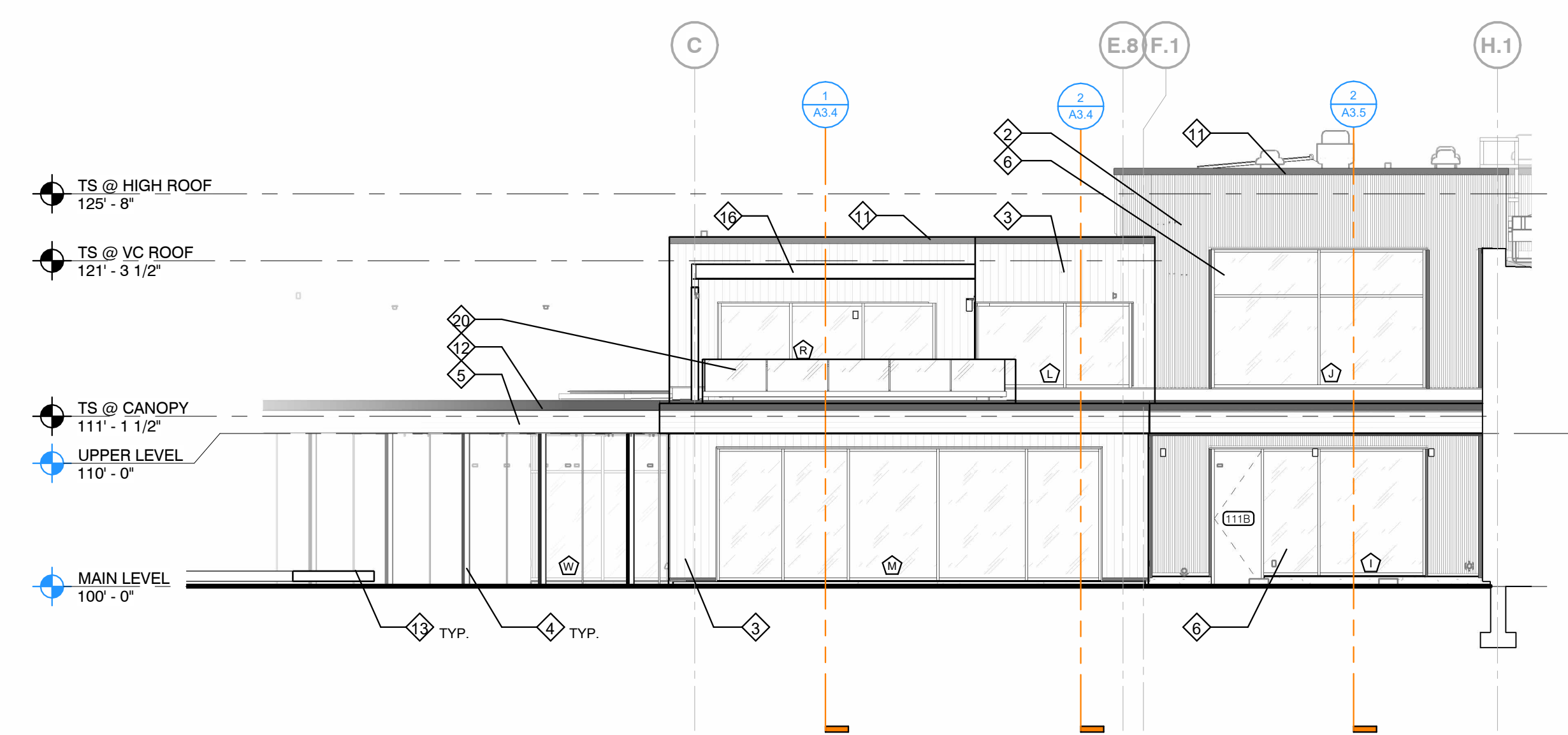
**5 EXTERIOR ELEVATION - WEST COURTYARD**  
SCALE: 1/8" = 1'-0"



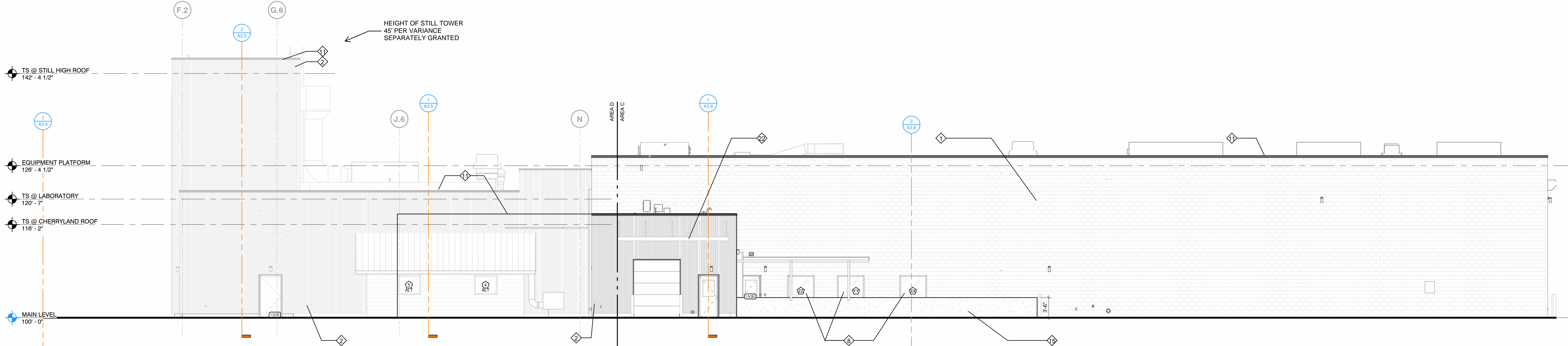
**4 EXTERIOR ELEVATION - WEST 2**  
SCALE: 1/8" = 1'-0"



**3 EXTERIOR ELEVATION - SOUTH DISTILLATION TOWER**  
SCALE: 1/8" = 1'-0"



**2 EXTERIOR ELEVATION - NORTH ENTRY**  
SCALE: 1/8" = 1'-0"



**1 EXTERIOR ELEVATION - NORTH**  
SCALE: 1/8" = 1'-0"

**MATHISON | MATHISON ARCHITECTS**  
**DISTILLERY**  
**TRAVERSE CITY WHISKEY COMPANY**  
 9432 S. CENTER HIGHWAY TRAVERSE CITY, MI

**CONSULTANTS:**  
**COMPREHENSIVE ENGINEERING**  
 4650 Plainfield Avenue NE  
 Suite A  
 Grand Rapids, Michigan 49525  
 Phone: (616) 355-9933  
 compeng.com

**go**  
 123 W Front Street  
 Traverse City, Michigan 49684  
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 gfa.tc

**DALY KITA**  
 ARCHITECTS & ENGINEERS  
 Post Office Box 1251  
 Englewood, Colorado 80150  
 p: (303) 765-1295

**CONTRACTOR:**  
**Erhardt CONSTRUCTION**  
 10318 10th Street SE  
 Everett, WA 98203

FOR APPROVAL 09/20/24  
 BIDS & PERMITS 11/06/23  
**DRAWING ISSUE**

**DRAWING TITLE:**  
 EXTERIOR ELEVATIONS

**A2.2**

MMA JOB #20149  
 © MATHISON | MATHISON ARCHITECTS



- EXTERIOR ELEVATION KEY NOTES**
- EXISTING EXTERIOR WALL TO BE PAINTED PT-4
  - EXTERIOR CLADDING - FORMED METAL WALL PANEL
  - EXTERIOR CLADDING - WOOD SIDING
  - STEEL COLUMN, TO RECEIVE HIGH-PERFORMANCE COATING
  - EWB-1 WOOD FASCIA AND SOFFIT, 1/8" RIFTSAWN OAK, TONGUE AND GROOVE, EASED EDGE JOINTS
  - WOOD CURTAIN WALL WITH ALUMINUM MULLION CAP EXTERIOR
  - ALUMINUM CURTAIN WALL
  - ALUMINUM STOREFRONT
  - EXTERIOR RAILING SYSTEM
  - OVERHEAD DOOR
  - PREFINISHED METAL ROOF EDGE 1
  - PREFINISHED METAL ROOF EDGE 2
  - COPPER RAIN CHAIN WITH ATTACHMENTS TO SOFFIT AND GROUND
  - NANAWALL ALUMINUM 640, FINISH TO MATCH CURTAINWALL ALUMINUM CAP FINISH
  - CAST IN PLACE CONCRETE
  - SHADE STRUCTURE, SEE DETAILS
  - INFILL NEW CMU AT EXISTING OPENING, TOOTH IN AS REQUIRED
  - NEW CMU PARAPET EXTENSION ON EXISTING CMU WALL, SEE SECTIONS FOR DETAILS
  - NEW 1 FT TALL SIGNAGE, COORDINATE COLOR AND PLACEMENT WITH ARCHITECT
  - ROOF DECK RAILING SYSTEM
  - GRAIN SILOS, BY OWNER
  - HANGER-SUPPORTED CANOPY
  - SINGLE SUNSHADE SYSTEM, STOREFRONT MOUNTED, FINISH TO MATCH STOREFRONT, MOUNTING DISTANCE AND SPACING TBD IN FIELD MOCKUP
  - CAST IN PLACE CONCRETE, RECKLI CONCRETE FORMLINER WITH BOARDFORMED PATTERN, CONFIRM EXACT PATTERN WITH ARCHITECT PRIOR TO INSTALLATION

**MATHISON | MATHISON ARCHITECTS**

**DISTILLERY**

**TRAVERSE CITY WHISKEY COMPANY**

9432 S. CENTER HIGHWAY TRAVERSE CITY, MI

**CONSULTANTS:**

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**CONTRACTOR:**

**Erhardt CONSTRUCTION**

FOCUS FROM THE INSIDE

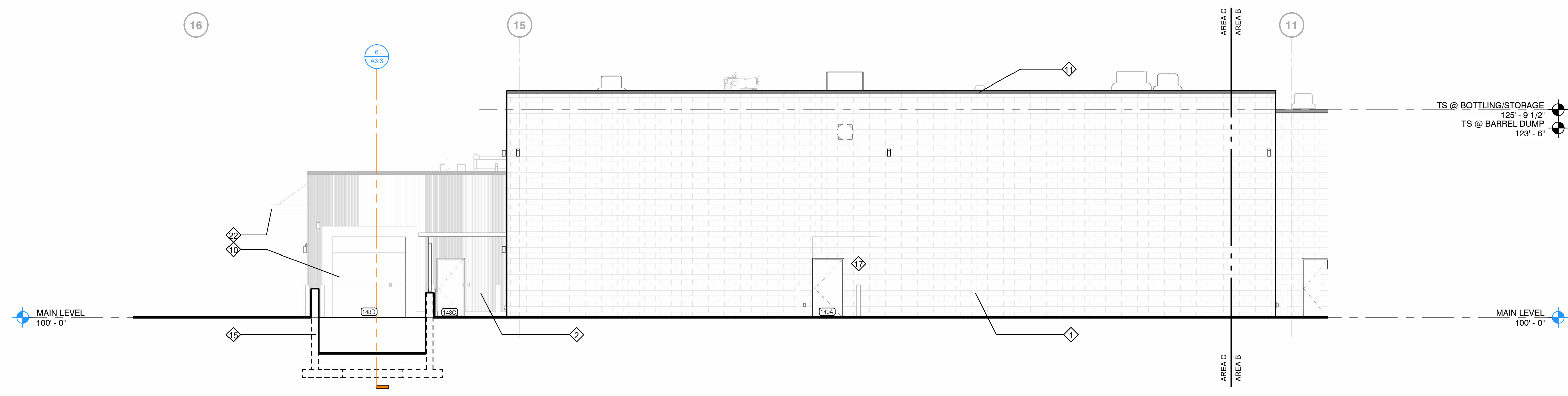
FOR APPROVAL: 09/20/24  
BIDS & PERMITS: 11/06/23

**DRAWING ISSUE**

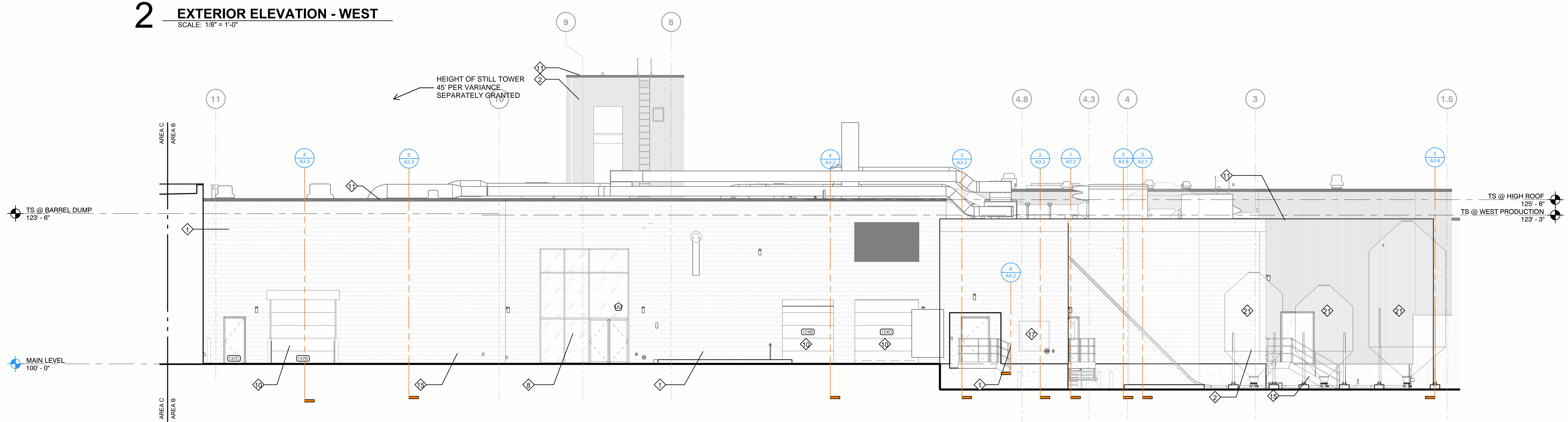
DRAWING TITLE:  
**EXTERIOR ELEVATIONS**

**A2.3**

MMA JOB #20149  
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**2 EXTERIOR ELEVATION - WEST**  
SCALE: 1/8" = 1'-0"



**1 EXTERIOR ELEVATION - WEST**  
SCALE: 1/8" = 1'-0"



**ELECTRICAL SITE PLAN**  
SCALE: 1" = 30'-0"

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
North Drive/Parking	+	0.8 fc	5.3 fc	0.1 fc	53.0:1	8.0:1
Parking/Front Drive	+	0.8 fc	8.6 fc	0.1 fc	86.0:1	8.0:1
South Drive/Parking	+	0.7 fc	6.0 fc	0.1 fc	60.0:1	7.0:1
West Drive	+	1.2 fc	5.9 fc	0.1 fc	59.0:1	12.0:1
South Truck Drive	+	0.7 fc	1.3 fc	0.2 fc	6.5:1	3.5:1

Schedule											
Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Light Loss Factor	Wattage	Plot
○	SB1		13	Lithonia Lighting	DSXB LED 16C 350 40K SYM	D-SERIES BOLLARD WITH 16 4000K LEDS OPERATED AT 350mA AND SYMMETRIC DISTRIBUTION	1	1674	0.9	20	
○	SIGN		2	Hydrel	PLACER 3LED16 40K FL	PLACER LED 40K 40? (4th GEN LED)	1	-1	0.9	5.8	
□	SP2		7	Lithonia Lighting	DSX1 LED P1 40K T2M MVOLT HS	DSX1 LED P1 40K T2M MVOLT with houseside shield	1	5693	0.9	54	
□	SP3		1	Lithonia Lighting	DSX1 LED P1 40K T3M MVOLT	DSX1 LED P1 40K T3M MVOLT	1	6764	0.9	54	
□	SP4		1	Lithonia Lighting	DSX1 LED P1 40K T4M MVOLT	DSX1 LED P1 40K T4M MVOLT	1	6816	0.9	54	
□	SP5		3	Lithonia Lighting	DSX1 LED P1 40K T5M MVOLT	DSX1 LED P1 40K T5M MVOLT	1	7229	0.9	54	
□	WPB		11	Lithonia Lighting	DSXW1 LED 20C 700 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES TYPE T3M OPTIC, 4000K, @ 700mA.	1	5454	0.9	45.7	

**PRELIMINARY**  
NOT FOR CONSTRUCTION

**REVIEW:**  
CHECKED BY: [ ]  
PROJECT MANAGER: KHR  
ARCHITECT: MMA  
OWNER: TRAVERSE CITY WHISKEY COMPANY  
9440 S. CENTER HIGHWAY TRAVERSE CITY, MI

**CONSULTANTS:**  
**COMPREHENSIVE ENGINEERING**  
4650 Plainfield Avenue NE, Suite A Grand Rapids, MI 49525  
Phone (616) 365-9933 compeng.com  
CE #20148  
Designed By: Designer  
Drawn By: Author  
7/8/2022 10:48 PM

**CONTRACTOR:**  
**Erhardt CONSTRUCTION**  
Right from the start

**REVISIONS:**

NO.	DATE	DESCRIPTION

08/30/24 FOR APPROVAL  
**CURRENT ISSUE:**  
SET DATE

MMA JOB # 20149  
**DRAWING TITLE:**  
ELECTRICAL SITE PLAN

Property Owner: TCWC Holding Company, LLC  
13975 S Robinson Road  
Traverse City, MI 49684

Hearing Date: September 20, 2022 (Introduction: August 16, 2022)

#### PROPERTY DESCRIPTION

Parcel ID #45-004-008-009-00 (known as 9432 S Center Hwy, 3.83 acres) and #45-004-008-010-40 (known as 9440 S Center Hwy, 27.56 acres), located in the Agricultural Rural (A-R) zoning district of Section 08 of Elmwood Township. Note that due to minimum acreage requirements of tasting rooms (20 acres), the lots must be combined; this was a condition of previous approval and should be a condition of any further approval. That said, the property owner has submitted an application to the Assessor to combine the lots. On September 14, 2022, Barbara Jones, Assessor, approved the land combination. Therefore, the above two referenced parcel numbers have been retired. The new parcel number for the 31.40acre parcel is 004-008-009-20. The Township has not yet received confirmation of an address for the new parcel number from the County Planning Department.

#### APPLICATION

TC Whiskey is requesting a special use permit for a distillery tasting room at their distillery on Center Hwy. This may sound familiar as a tasting room was previously approved, then said approval expired, and then the applicant reapplied and obtained a new SUP. Recently, they have applied for a major modification for the project and must go through the SUP process again. The project went for Introduction on August 16, 2022 and the Commission voted to schedule a public hearing for the next meeting (September 20, 2022).

Tasting rooms are permitted as an accessory use to the distillery in the Agricultural Rural zoning district.

With their application, they have submitted the following items:

- 1) An application submitted 07/19/2022 which contains:
  - a. Application Form. NOTE: applicant originally submitted Site Plan Review Application; not provided in the e/packet as said information is included on the appropriate Special Use Permit Application which was submitted on 07/21/2022.
  - b. Narrative/Cover Letter dated 7/18/22
  - c. Plans titled 'Traverse City Whiskey Co: Proposed Offices and Visitor Center Additions [Sheets C1.0, C2.0, C2.1, C3.0, C3.1, C3.2, C3.3, C4.0, C4.1, ASO.1, ASO.2, ES.2]' dated 12/12/21, last rev. 7/18/22.
  - d. Summary of Stormwater Runoff Control Plan for TC Whiskey Company, by GFA, dated 12/6/21
  - e. [Lighting Specs (4 sheets)] – n.d.
- 2) Additional information provided:
  - a. Submittal 07/28/2022 - Sheet ASO.1 dated 7/18/22 showing location of uses.
  - b. Submittal 08/08/2022 – TCWC – Request for Review dated 8/5/22 [Soil Erosion Email]
  - c. Submittal 08/09/2022 – 18355 [3sheets for survey showing combination of parcels] dated 3/28/22
  - d. Responses to Staff report sent via email 8/16/22
  - e. (provided by ZA) pages 2-8, 2-9, 6-4, 6-5 of the Zoning Ordinance
  - f. "Proposed Offices and Visitor Center's Additions" – GFA – 12/12/21, last rev. 9/9/22

**SECTION 9.8 ADDITIONAL REQUIREMENTS FOR CERTAIN SPECIAL LAND USES**

**L. Distillery Tasting Room (Amendment ZO 2017-04-03, Ordinance #2018-04, Effective November 9, 2018)**

The Township would like to encourage agriculturally related uses while preserving neighboring property owners' enjoyment of their land. Tasting rooms are permitted at distilleries provided that the proposed distillery tasting room complies with the following requirements:

1. The distillery is licensed or will be licensed prior to occupancy by the appropriate Federal, State, and Local agencies. *Application states: The distillery is licensed by the appropriate Federal, State, and Local agencies.* **Commission finds this requirement can be met with the following condition: The distillery is licensed or will be licensed prior to occupancy by the appropriate Federal, State, and Local agencies. Evidence of this must be provided to the Zoning Administrator prior to occupancy.**
2. The parcel shall have a minimum of 20 acres. *Application states "Currently the distillery is on two separate parcels of 27.56 acres and 3.83 acres. Once combined these will be above the minimum 20 acres required. See attached Site Survey on 2.0 and Site Data on 3.0."* **The Commission finds that on September 14, 2022, Barbara Jones, Assessor, approved the land combination. Therefore, the above two referenced parcel numbers have been retired. The new parcel number for the 31.40acre parcel is 004-008-009-20.**
3. The distillery is operated according to generally accepted agricultural management principles and the parcel shall have a minimum of five (5) planted acres of crop that is used for the on-site production of spirits unless the Planning Commission determines that a different minimum is more appropriate to meet the standards of Section 9.3 for the reuse of existing commercial structures. *Application states "please see the Site Survey and Adjacent Property Plan on 2.0 for the expected tillable acreage to meet the minimum five planted acres. The crop from these five acres will be used by TCWC in their spirit production."* **The Commission found that the plans provide area of over 5 acres, but the requirement includes *planted* crops, not tillable land. The Commission finds that this standard can be met with the following condition: A performance bond/guarantee be established to ensure the required crops are planted within one year after the commencement of construction.**
4. Tasting rooms shall not exceed two and one-half (2.5) percent of the lot area. *Application states "the tasting room does not exceed 2.5% of the lot area."* **Commission finds that this has been met.**
5. Setbacks shall be:
  - a. For any tasting room that adjoins a parcel where there is a residence, all tasting room structures and facilities shall be located at least 100 feet from the property line that adjoins a residence, and speakers and sound amplifiers shall be located at least 250 feet from the property line that adjoins a residence. *Application states "the tasting room will meet the required setbacks. The tasting room is over 100' from all property lines..."* **Commission finds that this has been met.**
  - b. For any tasting room that adjoins a parcel where there is a residence, if the residence is within 500 feet of any tasting room structure, there shall be a fence along the property boundary line that adjoins the residence to discourage

trespass. *Application states "...no residence is within 500' of the tasting room structure."* **Commission finds that this has been met.**

6. The maximum size of tasting room shall be 2000 sq ft. *Application states "The tasting room itself will be a combined space for spirit sales mingling with tasting and lounge areas and is below the required 2,000 sf maximum."* **Commission finds this can be met with the following condition: As required by the Ordinance, the maximum size of tasting room shall be 2000 sq ft. The Commission is approving the requested 1,917 sq ft tasting room and said tasting room shall not be expanded without the appropriate approval.**
7. The hours of operation shall be between the hours of 10 am and 10 pm unless the Planning Commission determines that different hours are more appropriate to meet the standards of Section 9.3. *Application states "the hours of operation will be between the hours of 10am and 10pm."* **Commission finds this has been provided.**
8. Retail sales and food service must be clearly accessory to production of the spirit being processed on-site. The tasting room may offer food service provided:
  - a. The area for serving food shall seat no more than twenty (20) patrons at one time.
  - b. Sale of food shall not exceed 10% of gross sales of licensed products. At the request of the Township, the business shall provide supporting documentation to the Township verifying compliance with this section. This section does not limit the Township's ability to make documentation request in any other sections of the Zoning Ordinance.
  - c. Food service items shall be limited to appetizers and small plates. Carry-out foods are prohibited.
  - d. Distillery shall be licensed to prepare and serve food by the appropriate Health Agency. *Application states "Retail sales and food service are accessory to the production of the spirit being processed at the on-site distillery. While a kitchen will be included in the building plans, and any food served will be small plates to less than 20 seats. Limited table service may be provided, as typically guests will go to a bar to pick up drinks or ordered food. The goal is to provide a place for patrons to sample the whiskey being made on-site, with food available only as a secondary option. Sale of food will not exceed 10% of gross sales of licensed products."* **Commission finds this has been provided.**
9. Amplified sound (including amplified music) shall be contained indoors and shall not exceed reasonable volumes, so as to avoid disturbance to any neighboring residents. *Application states "amplified sound and music will be contained indoors at reasonable volumes."* **Commission finds this has been provided.**
10. Lighting shall comply with Section 6.5. *Application states: "Please see the attached lighting and photometric plans for compliance with the Ordinance Section 6.5."* **Commission finds this has been provided.**
11. Any alcoholic beverages consumed or sold on-site must be produced on-site. *Application states: Alcoholic beverages consumed and sold on-site will be produced on-site.* **Commission finds this has been provided.**
12. On-site parking shall be designed and constructed according to Article 6. *Application states: please see the attached plans for parking design and counts.* **The Commission finds that this has been met with the new plan provided. The Commission finds that**

snow storage is proposed within the front setback and to ensure compliance with Section 6.1.5.B which indicates that “Snow storage areas shall be located so they do not interfere with clear visibility of traffic on internal roads or drives, adjacent streets, and highways,” the Commission makes the following a condition of approval: Snow storage shall not be located within the clear vision area nor shall it be located within the RoW without County approval.

## SECTION 9.2 GENERAL PROVISIONS (*Special Use Requirements*)

- B. **Application.** Application for any special land use permit permissible under the provision of this Ordinance shall be made to the Planning Commission through the Zoning Administrator by filing an official special use permit application and submitting a site plan in accordance with Article 8. In addition to information or documents required by Article 8, the applicant shall provide the following information:
1. Location of all proposed special land uses and activities to be conducted on the parcel(s); **Provided**
  2. Height and footprint of all structures and improvements; **Provided**
  3. Adjacent land uses and their corresponding zoning districts; **Provided**
  4. Need for the proposed special land use in the specific area of the Township. **Not explicitly; indicates reuse of industrial building and promoting agritourism.**
  5. Compatibility with the listed permitted uses in the zoning district where the proposed special land use is requested to be located; **Not explicitly; indicates reuse of industrial building and promoting agritourism.**
  6. Such additional information or documents that will assist the Planning Commission in determining whether the proposed special land use meets the General Standards and Specific Requirements as provided in Section 9.3.

## SECTION 9.3 STANDARDS, REQUIREMENTS AND FINDINGS

### A. **General Standards.**

1. The proposed special land use meets the objectives, intent, and purposes of this Article and the zoning district in which the proposed special land use is to be located. *Application states: The proposed building additions and their uses are located on a site upon which commercial/agricultural activity has taken place. The property is zoned A-R and the proposed use compliments the existing use of the facility as well as improving the appearance. Commission finds this has been met.*
2. The proposed special land use is designed, and is intended to be constructed, operated, maintained, and managed so as to be consistent with the existing or intended character of parcels within the zoning district. *Application states: The proposed building additions and their uses are located on a site upon which commercial/agricultural activity has taken place. The property is zoned A-R and the proposed use compliments the existing use of the facility as well as improving the appearance. The intent is to put the existing infrastructure on the site back into production, with substantial improvements, to utilize agricultural crops not only from the subject property, but from the region to produce distilled spirits and to also provide agri-tourism opportunities. Buildings are located far back from the road and proposed improvements for parking, landscaping and visitor accommodations*

will greatly improve the conditions existing at this long abandoned industrial site. **Commission finds this has been met.**

3. The proposed special land use meets or exceeds the minimum requirements for the zoning district in which it is requested to be located. *Application states: The zoning district is A-R and proposed improvements meet setback requirements and once the two subject parcels are combined, their total acreage (31.39 acres) will exceed the 20-acre requirement for the proposed use. Requirements for this district and use will be met. Commission finds this has been met.*
4. The proposed special land use will be served adequately by essential public utilities, facilities, and services such as water supply, wastewater disposal, highways, roads, police and fire protection, drainage structures, and refuse disposal. Alternatively, such services, if adequate to serve the proposed special land use, may be provided privately or by a combination of public and private providers. *At this time water will be supplied by existing and proposed water wells on site and sanitary sewer needs will be met by connecting to municipal sewer approved by both Elmwood Township and EGLE. The site fronts on S. Center Highway and will make use of three access points, and one for emergency use only. The buildings will be sprinkled and in addition the Owner's design team has sought to coordinate fire protection with the Elmwood Township Fire Chief, and continues with that endeavor. Drainage of storm water will be handled with storm water structures (catch basins and detention basins) with resulting runoff controlled and directed to the same ravine which has historically received the storm water from the site. Refuse disposal for the site will be accommodated via enclosed dumpster pads. Commission finds this has been met.*
5. The proposed special land use will not adversely impact existing or future neighboring uses. For example, but without limitation, the proposed special land use shall be designed as to location, size, intensity, site layout, and periods of operation to eliminate any possible conflicts. Additionally, it shall not be detrimental to any persons, property, or the general welfare by reason of excessive smoke, fumes, glare, noise, vibration, and odors, nor have adverse environmental impacts and detrimental effects on the general aesthetics or appearance of the character of existing or future neighborhood uses. *The proposed use revitalizes an existing fruit processing plant which has been shut down and abandoned. The proposed use will only enhance the property and therefore positively impact adjoining property values. Truck traffic will not be continuous or heavy. Visitors to the facility will be predominately seasonal and similar to that experienced by the area's wineries. Smoke, fumes, glare, noise, vibration and odors will be minimal and similar to previous uses of the property, and will adhere to Township requirements. Commission finds this has been met.*
6. The proposed special land use shall not have an adverse effect on the natural environment beyond the normal impacts of permitted principal uses in the same zoning district, and shall not result in impairments, pollution or destruction of the air, surface, ground water, vegetation, and other natural resources. *The proposed use will not negatively impact the natural environment. All discharges from the site will have to be permitted by either the Drain Commissioner (storm water/erosion) or the Health Department and EGLE (process and sanitary waste), or the Township (noise, glare, etc.). Commission finds this has been met.*

7. The proposed special land use will not create excessive additional requirements or costs for public facilities, utilities and services. *The proposed use will not create excessive additional requirements for any public facilities. Any impacts would need to follow in-place permitting requirements ensuring this is the case.* **Commission finds this has been met.**
  
  8. The proposed special land use has met or will meet all requirements of other Township, County, State, and Federal ordinance and code requirements. *The proposed use will not only meet the intent of the Township's ordinances, but will we believe will further the goals of the Township in terms of the resurrection of blighted properties, the continuance of farming practices, providing employment not only at this facility, but within the larger area due to bringing visitors to the area. It is the Owner's intent, and in fact it will be required regardless, that all other Township, County, State and Federal requirements will be met.* **Commission finds this has been met.**
  
  9. The following specific requirements shall be met to the extent applicable to the proposed special land use:
    - i. Ingress and egress for the special land use shall be controlled to ensure maximum vehicular and pedestrian safety, convenience, and minimum traffic impact on adjacent roads and highways, drives, and nearby uses including, but not limited to:
      1. Minimization of the number of ingress and egress points through elimination, minimization, and consolidation of drives and curb cuts; *The plan eliminates one curb cut and changes another to being for emergency use only.*
      2. Proximity and relation of driveway to intersections; *No new curb cuts are planned that would impact adjacent driveways or intersections.*
      3. Minimization of pedestrian and vehicular traffic conflicts; *The proposed plan does not require any modifications to existing traffic patterns.*
      4. Adequacy of sight distances between road and driveway intersections as specified in Section 6.2, Access Management. *The project team has reviewed site distance at the single new curb cut and it is acceptable according to Leelanau County Road Commission Requirements. This curb cut will need to be reviewed and permitted by the Road Commission*
      5. Location and accessibility of off-street parking, loading, and unloading for automotive vehicles, including buses and trucks; *AS per the plans, visitor parking is located on the road side of the premises. Employee parking is located on the North and South sides. All parking spaces are serviced by maneuvering lanes meeting Township requirements. Bus and truck loading areas are designated on the plans.*
      6. Location and potential use of ingress and egress drives to access special land use parcels for the purpose of possibly reducing the number of access points necessary to serve the parcels. *The plan eliminates one curb cut overall, adds one new curb cut, and changes the use of the southerly-most entrance to emergency only, thereby reducing the overall number of curb cuts.*
      7. Adequate maneuverability and circulation for emergency vehicles. *The site can be accessed from the north or the south by emergency vehicles. The southerly entrance will be designated for emergency purposes only and will be gated with a lock as per Fire Department requirements.*
- Commission finds this has been met.**



- ii. Screening shall be provided along all sides and rear property lines by a buffer area, and along the front property line by a greenbelt in accordance with Section 6.4, unless it can be demonstrated that the proposed special land use can be adequately controlled through some other means, such as restrictions on the hours of operation, or reducing the impact by the type and level of activity to be conducted on the site. *Screening for the site is accomplished by both the distance from the road way and adjacent occupied properties and by the preservation of particular existing trees or tree stands and by the planting of numerous additional trees. Elevations on the site also aid in screening of the site from both the road and adjacent properties. It is the Owner's desire to construct a visually attractive facility as their plan is to host visitors. Commission finds this has been met.*

### **SECTION 8.3 SITE PLAN REVIEW APPLICATION PROCEDURES**

3. The applicant will forward copies of the site plan to the Leelanau County Road Commission, Leelanau County Drain Commissioner, Health Department, the Elmwood Township Fire Department, Department of Public Works and Michigan Department of Transportation, as applicable, for their review and comments. Any review comments will be forwarded to the Zoning Administrator. Comment letters shall be provided to the Zoning Administrator prior to application being placed on the Planning Commission agenda for consideration. **Commission finds this can be met with the following condition:**

### **SECTION 8.4 REQUIREMENTS FOR SITE PLAN APPROVAL**

The following information shall be provided with the site plan as indicated, unless waived by the Zoning Administrator when such information is not applicable. The site plan must be drawn at a scale of one (1) inch equals one hundred feet (1"=100') or less. Required site plan elements shall include:

1. Applicant's name, address, and telephone number. **Provided**
2. Property owner's name, address, telephone number, and signature. **Provided**
3. Proof of property ownership, and whether there are any options or liens on the property. **Provided**
4. A signed and notarized statement from the owner of the property that the applicant has the right to act as the owner's agent. **Provided**
5. The address and/or parcel number of the property, complete legal description and dimensions of the property, width, length, acreage, and frontage. **Provided**
6. Seal of the registered engineer, architect, and landscape architect who prepared the plan, as well as their names, addresses, and telephone numbers. **Provided**
7. Project title or name of the proposed development. **Provided**
8. Statement of proposed use of land, project completion schedule, and any proposed development phasing. **Provided**

9. Statements regarding the project impacts on existing infrastructure, including traffic, schools, existing utilities, and the natural environment on and adjacent to the site. **Provided**
10. Total number of units, employees, bedrooms, offices, total and usable floor area, amount and type of recreation or open space proposed, and similar information required to evaluate compliance with the Ordinance. **Provided**
11. A vicinity map showing the area and road network surrounding the property. **Provided**
12. The gross and net acreage of the parcel. **Provided**
13. Land uses, zoning classification, and existing structures on the subject parcel and adjoining parcels. **Provided**
14. Location of proposed and/or existing property lines, dimensions, legal descriptions, setback lines, and monument locations. **Provided**
15. Existing topographic elevations at two (2) foot intervals, except at five-foot intervals where slopes exceed 18%. **Provided**
16. The location and type of existing soils on the site, and any certifications of borings. **Provided**
17. Location and type of significant existing vegetation. **Provided**
18. Location and elevations of existing water courses and water bodies, including county drains and man-made surface drainage ways, floodplains, wetlands, and sand dunes. **Provided**
19. Location of existing and proposed buildings and intended uses thereof, as well as the length, width, and height of each building or building envelope. **Provided**
20. Proposed location of all proposed structures, buildings, equipment, and uses. **Provided**
21. Elevation drawings of typical proposed structures and accessory structures. **Provided**
22. Location of existing public roads, rights-of-way, easements of record, and abutting streets. **Provided**
23. Location and dimensions of proposed streets, drives, curb cuts, and access easements, as well as acceleration, deceleration, and passing lanes, including those within 100 feet of the property. **Provided**
24. Location, design, and dimensions of existing and/or proposed curbing, barrier-free access, carports, parking areas (including indication of all spaces and method of surfacing), fire lanes, and all lighting thereof. **Provided**
25. Location, size, and characteristics of all loading and unloading areas. **Provided**
26. Location and design of all sidewalks, walkways, bicycle paths, and area for public use. **Provided**

27. Location of water supply lines and or wells, including fire hydrants and shut off valves; and the location and design of storm sewers, retention or detention ponds, waste water lines, and clean-out locations; and connection points and treatment systems (including septic system if applicable). **Provided**
28. Location of all other utilities on the site, including, but not limited to, natural gas, electric, cable TV, telephone, and steam. **Provided**
29. Proposed location, dimensions, and details of common open spaces, and common facilities such as community buildings or swimming pools, if applicable. **NA**
30. Location, size, and specifications of all signs and advertising features, including cross-sections. **Not provided; can be conditioned.**
31. Exterior lighting locations, with area of illumination illustrated as well as the type of fixtures and shielding to be used. **Provided**
32. Location and specifications for all fences, walls, and other screening features, with cross sections shown. **Trees planted in front of property**
33. Location and specifications for all proposed perimeter and internal landscaping and other buffering features. The proposed sizes of landscape materials (not previously existing) must be indicated. All vegetation to be retained on site must also be indicated, as well as its typical size by general location, or range of sizes as appropriate. **Provided**
34. Location, size, and specifications for screening of all trash receptacles and other solid waste disposal facilities. **Provided**
35. Location and specifications for any existing or proposed (above or below ground) storage facilities for any chemicals, salts, flammable materials, or hazardous materials. Include any containment structures or clear zones required by county, state, or federal government authorities. **NA**
36. Identification of any significant site amenities or unique natural features, and whether they will be preserved. **Provided**
37. North arrow, scale, and date of original submittal and last revision. **Provided**

#### **SECTION 8.5 REVIEW AND APPROVAL (For Site Plan Review)**

**B. Standards for Site Plan Approval.** The Planning Commission shall make a finding that the following standards are met prior to approving a site plan:

1. All required site plan and application information has been provided as specified in this Article. *All required site plan and application information has been met that are specified in this article.* **Commission finds this has been met.**
2. All required permits and approvals from outside agencies have been secured, or have been made a condition of site plan approval. *Preliminary Approval has been requested from outside agencies and we expect their approvals to be made a condition of Site Plan Approval.* **Commission finds this has been met.**

3. Adequate essential facilities and services including highways, streets, police, fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools are available, or the provision of such facilities and services has been assured. *The proposed building additions are located on a site upon which commercial/agricultural activity has taken place. The site currently has 4 driveways, which will be reduced to 3 driveways per attached plans. The number of visitors to the site will increase traffic on S. Center Highway slightly, and will access the site via commercial entrances meeting Leelanau County Road Commission commercial requirements. There are no impacts to schools. Numerous mature trees have been preserved by the plans, with additional trees and plantings proposed, at a minimum meeting Elmwood Township requirements. The purpose of the client's design for the buildings is to tastefully showcase the property and facility as a tourism destination and provide improved views onto and from the property. Grounds will be maintained.* **Commission finds this has been met.**
4. All applicable standards of agencies including, but not limited, to the Township Fire Department, Michigan Department of Transportation, Leelanau County Road Commission, Leelanau County Drain Commission, Health Department, and the Michigan Department of Environmental Quality (MDEQ) have been met. *Outside agency standards have been considered and implemented, together with previously received agency comments, in the Site Plan drawing set.* **Commission finds this has been met.**
5. Compliance with all non-zoning ordinances adopted by the Township, including, but not limited to the private road ordinance. *We believe the plan is compliant with all non-zoning ordinances adopted by the township.* **Commission finds this has been met.**
6. All buildings and structures shall be designed, constructed, operated, and maintained so as to be harmonious, compatible, and appropriate in appearance with the existing or intended character of the general vicinity. *The proposed building additions are located on a site upon which commercial/agricultural activity has taken place. The site currently has 4 driveways, which will be reduced to 3 driveways per attached plans. The number of visitors to the site will increase traffic on S. Center Highway slightly, and will access the site via commercial entrances meeting Leelanau County Road Commission commercial requirements. There are no impacts to schools. Numerous mature trees have been preserved by the plans, with additional trees and plantings proposed, at a minimum meeting Elmwood Township requirements. The purpose of the client's design for the buildings is to tastefully showcase the property and facility as a tourism destination and provide improved views onto and from the property. Grounds will be maintained.* **Commission finds this has been met.**
7. The buildings, structures, and entryway thereto proposed are situated, designed, and screened/buffered so as to minimize any adverse effects upon owners and occupants of adjacent properties and the neighborhood. *The project consists of additions to the existing processing facility building fitting well within building setbacks. Healthy existing trees are preserved, as well as new trees being proposed. The building site sits several feet below the public road grade and this helps screen the property. The nearest residence is 540 feet east of the property and is well shielded by existing woodlands. This project revitalizes what is currently an abandoned building and uses tasteful architecture together with landscaping to make it an eye-appealing enhancement of the property.* **Commission finds this has been met.**

8. All buildings and structures are accessible to emergency vehicles. *All buildings and structures are accessible to emergency vehicles. Commission finds this has been met.*
9. Complete and safe pedestrian, non-motorized and vehicular circulation is provided. *Complete and safe pedestrian, non-motorized and vehicle circulation is provided by three regular, paved commercial entrances and one keypad emergency only entrance. Commission finds this has been met.*
10. The percentage of impervious surface has been limited on the site to the extent practicable. *The site design makes use of chipped stone in many non-landscaped areas to limit impervious surface. Two buildings (impervious surface) have been removed and are more or less replaced by the proposed building additions. The plans do not significantly increase the amount of impervious surface. Commission finds this has been met.*
11. Efforts have been made to protect the natural environment to the greatest extent possible. *Agricultural, tillable lands have been preserved as this plan set does not infringe upon existing, undeveloped areas of the property. Commission finds this has been met.*
12. There exists within the site plan sufficient protection to accommodate storm water runoff on the site location. *Storm water management plans are included in the plan set to ensure storm water is controlled on site. Commission finds this has been met.*
13. The proposal furthers the goals and objectives of the Master Plan. *This project greatly improves this property while bringing commercial activity and jobs to the Township. The entire building will be updated and all non-improved areas around the building will be landscaped and maintained. Commission finds this has been met.*

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**MOTION BY COMMISSIONER KUZMA, SECONDED BY COMMISSIONER LUTA TO APPROVE SPR/SUP 2022-05 REQUEST BY TCWC HOLDING COMPANY LLC FOR AN EXPANSION OF PREVIOUSLY PERMITTED DISTILLERY TASTING ROOM, OFFICES, AND VISITOR CENTER. THIS MOTION IS BASED UPON PREVIOUSLY FOUND FINDINGS OF FACT AS SPECIFIED THE BASIS FOR DECISION ALONG WITH THE CONDITIONS AS PREVIOUSLY DISCUSSED.**

**Conditions include:**

- 1) Snow storage shall not be located within the clear vision area nor shall it be located within the RoW without County approval.
- 2) The distillery is licensed or will be licensed prior to occupancy by the appropriate Federal, State, and Local agencies. Evidence of this must be provided to the Zoning Administrator prior to occupancy.
- 3) The distillery must be operated according to generally accepted agricultural management principles and the parcel shall have a minimum of five (5) planted acres of crop that is used for the on-site production of spirits.

- 4) Prior to issuance of a Land Use Permit, a performance guarantee, or other such documents deemed sufficient by Counsel to ensure crops will be planted within one year of commencement of construction.
- 5) As required by the Ordinance, the maximum size of tasting room shall be 2000 sq ft. The Commission is approving the requested 1,917 sq ft tasting room and said tasting room shall not be expanded without the appropriate approval.
- 6) The project shall comply with all requirements of the Zoning Ordinance in effect at the time of approval (September 20, 2022), including, but not limited to Section 9.8.L.
- 7) The property owner is responsible for obtaining all other applicable permits. This shall be done prior to obtaining a Land Use Permit.
- 8) The Planning Commission is not approving any signage under this Site Plan Review. Any proposed signage will need to comply with the Zoning Ordinance and the property owner shall obtain a sign permit from the Zoning Administrator.
- 9) In accordance with Section 6.5.4 of the Zoning Ordinance, All non-residential outdoor lighting fixtures, including display lighting, shall be turned off after close-of-business unless needed for safety or security, in which case the lighting shall be reduced to the minimum level necessary or an infrared sensor security fixture is used. Lighting for a parking area shall be installed so that the light is directed into the parking area only. Parking lot lights shall be extinguished after working hours or shall be placed on an infrared sensor. Further, Any installed parking lot lighting shall comply with the following requirements: 1. All pole-mounted lighting of parking or display areas shall be fully shielded, and in no case shall the light be permitted to extend above the horizontal plane of ninety (90) degrees. 2. Pole mounting height for any outdoor lighting shall not exceed twenty- five (25) feet.
- 10) Landscaping shall be maintained in a healthy, growing condition. Diseased or dead materials shall be replaced within the current or next planting season.
- 11) Once the project has been completed, the property owner or their representative shall submit As-Built plans in accordance with Section 8.6 of the Zoning Ordinance.
- 12) Southern most entrance must be maintained in the winter for emergency access.
- 13) A fire suppression easement be granted to the Fire Department, in accordance with Counsel.

Date: 11.6.2024  
From: Sara Kopriva, ACIP  
To: Elmwood Township Planning Commission  
Project: Master Plan Chapters

*i*  
initiative

Attached are the first few chapters of the master plan for review by the Planning Commission. Chapters included at this time are Transportation, Community Facilities and Community Engagement. We will be discussing the sections broadly; the Planning Commission should review these chapters accuracy and content but not for formatting.

This is the first review of the chapters by the Planning Commission. You will also be seeing them in a complete draft prior to being distributed for public review. While this is not the last time you will see the chapters, it is important to review and provide details on content. We will not be doing major revisions on content when the complete draft is reviewed.

Generally, the chapters of the plan will be:

1. Introduction, Overview
2. Community Profile-Demographics
3. Housing
4. Natural Features and Resiliency
5. Transportation
6. Economic Development
7. Community Facilities
8. Land Use
9. Implementation

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# Community Engagement Summary

Community Engagement for the Elmwood Township Master Plan was received through a survey and open house. The survey was open from June 24, 2024 through September 3, 2024 and received a total of 321 responses. The survey was available online with paper copies available at the office. Postcards were sent to members of the community to inform them of the opportunity to provide input. The open house was held on August 15, 2024 at Township Hall, where approximately 40 community members assembled to share their vision for the future of Elmwood. A summary of both community engagements is included in the following pages.

## COMMUNITY OPEN HOUSE RESULTS

### Voting Questions: Agri-Tourism

*Which type of agri-tourism should be encouraged in the Township?*

	Votes	Comments
Corn mazes	2	--
Pumpkin patches	5	--
Farm stay	8	--
Petting zoo	1	Absolutely not
Farm dinners	5	--
U-pick	16	--
School tours	2	--
Workshops	2	--
Camping	2	--
Festivals	1	--
Farm tours	7	--
On-farm markets	13	--
On-farm markets	10	--
Game preserves	2	--



*Which area of the Township should each type of housing be allowed?*



	Stacked Duplex	Side-By-Side Duplex	Cottage Courts	Townhomes	Courtyard Homes	ADUs
1		1	1	1	1	1
2	1		3	1	1	1
3			2	1		1
4		1		1		1
5				1		1
6			2	1		1
7			1	1		1
8			2			1
9		1	1	2		1
10				1		3
11			1	1		3
12						1
13			1	1	1	1
14	1	1	1		1	1
15				1		1
16		1	1	1		1
17	1	2	4	1	1	1
18	1	1	3	1	2	1
19	1	2	1	1	1	1
20	1	1	4	1	3	1
21		1	1	1	1	1
22		1	1	1	1	1
23		1	1	1		1
24	1	2	1	1		2

DRAFT

Additional Comments:

- Need zoning map overlaid on Area #'s to guide thoughts.
- Several cottage courts with 5 miles build a charter school, grocery store, park & recreation nearby
- Any of these "housing choices" could be used in any of these areas 1-24.

**Comments & Questions**

*What would be a good slogan/motto for Elmwood Township?*

The suggested slogans for Elmwood Township reflect a strong connection to the natural beauty and unique character of the area. Popular ideas include emphasizing its role as the "Gateway to Leelanau," highlighting its natural resources with "Protect Natural Leelanau" and "Water – Enjoyment + Innovation," and maintaining its essence with "Don't ask us to change" and "Essence of Elmwood." Each slogan showcases a desire to preserve the township's natural charm and appeal.

### *What is missing from Elmwood Township?*

Respondents identified several missing elements, emphasizing the need for more parks, wildlife areas, and natural spaces. Ideas include adding walkable areas like Cherry Bend Road, creating walkable commercial districts with local businesses, and ensuring land in housing developments is set aside for playgrounds and recreation. Other suggestions focus on enhancing the township's heritage, such as preserving Maritime Heritage, increasing community gathering spaces, and providing more amenities like coffee shops and shopping options. Walkability and conservation of natural resources are recurring themes.

### *Think of our community. What is an aspect (or aspects) that you enjoy? How could that be improved, or preserved?*

Respondents appreciate the tranquility, natural areas, and family-friendly environment in Elmwood Township, expressing a strong desire to preserve these aspects. There is a call to limit short-term rentals (STRs) and enact a blight ordinance to maintain neighborhood quality. Community-building spaces, both outdoors and indoors, are desired, especially during winter. Local small farms and businesses like Farm Club and Lakeview Hills Farm Market are highly valued, and respondents suggest promoting agritourism to support local agriculture. The TART Trail, Cedar Lake, and parks are popular features, with requests for more walking paths and better pedestrian crossings for safety. Preserving the environment, particularly watersheds and wetlands, is another key priority for residents.

### *Do you have any additional comments or questions?*

Respondents raised a variety of concerns, including the need for proactive climate change planning and protection against environmentally harmful development. They suggested fostering community connections by sharing local talents and skills, and expressed interest in more multi-family, multi-generational housing options. Traffic control and safety were major issues, with multiple calls for increased patrols and better traffic management. Some supported renewable energy, particularly solar panels, while others expressed concerns about their efficiency and visual impact in winter conditions. Additional requests included indoor pickleball courts, sidewalks on Grandview, and limits on STRs and wind turbines to protect wildlife.

## **Future Land Use**

### *What is missing?*

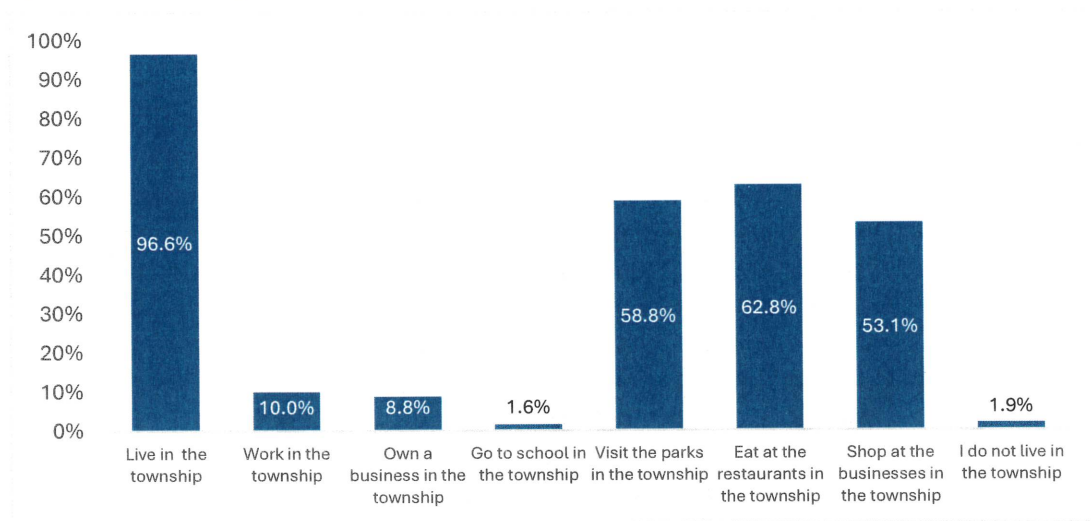
Respondents expressed a range of opinions on future land use, with some advocating for allowing Accessory Dwelling Units (ADUs) even in rural, low-density areas, while others strongly opposed ADUs and short-term rentals like Airbnb. There were suggestions to include an agritourism category and calls to preserve green space for natural habitats. Additionally, some respondents favored restricting motor home parks and promoting cluster development, which would require setting aside natural areas within new developments.

*Do you have any other comments?*

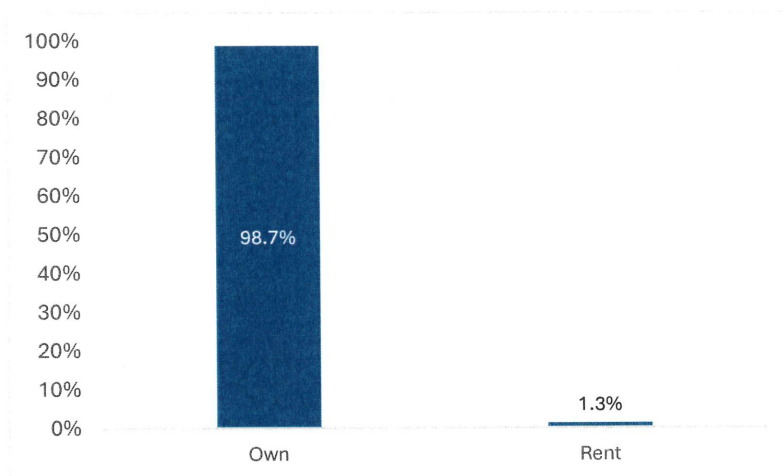
Respondents highlighted the desire for more Accessory Dwelling Units (ADUs) and multi-generational living options, allowing for various building types on a single parcel. Additionally, there was interest in adding small local businesses, such as a breakfast shop or hangout, to enhance the community atmosphere.

### Survey Summary Results

*Q. Of the following, which describes your experience with Elmwood Township?*

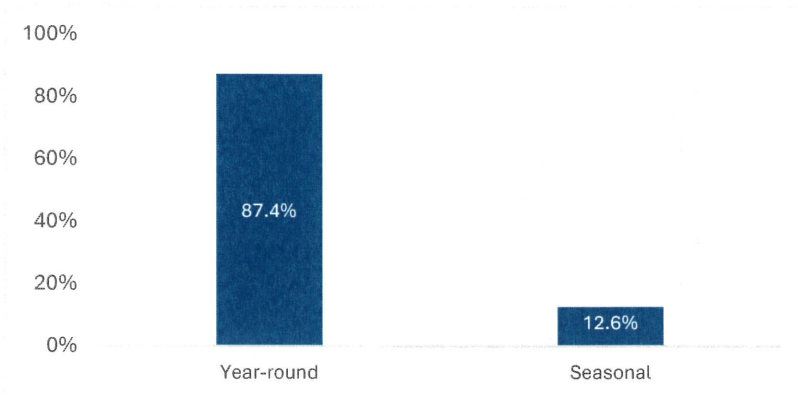


*Q. If you live in the township, do you own or rent?*

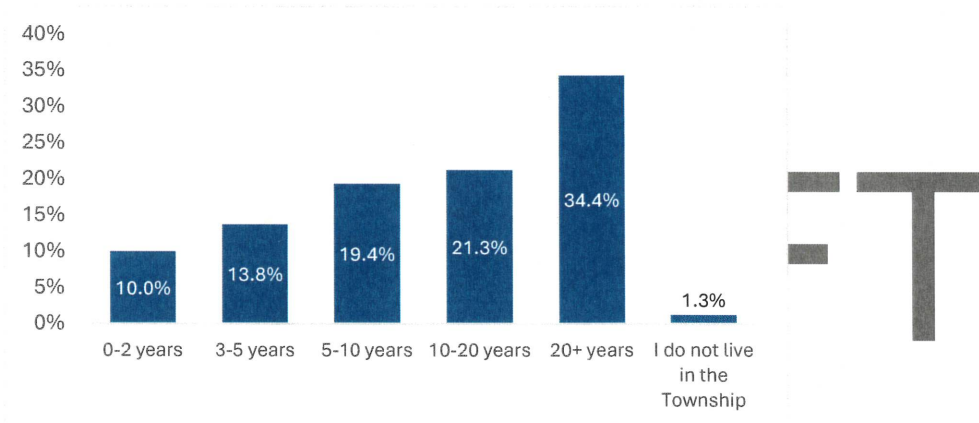


Almost all of the survey respondents are homeowners, a little higher than the overall owner-occupancy rate for the Township is 84.3%.

*Q. If you live in the township, are you a year-round or seasonal resident?*

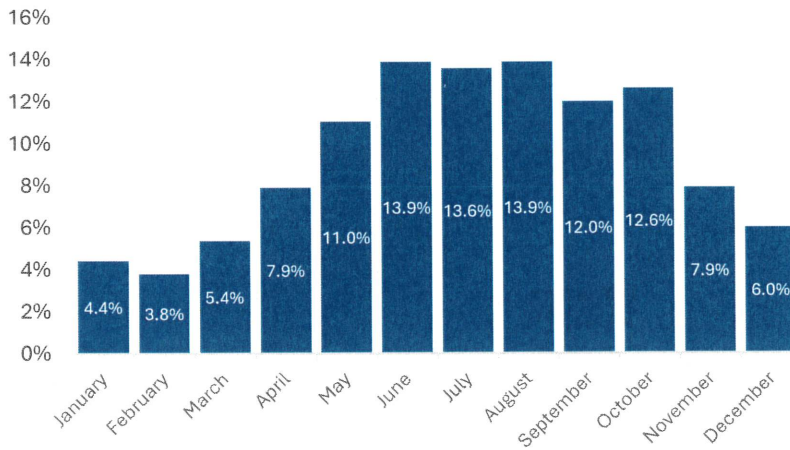


*Q. How long have you lived in Elmwood Township, either year-round or seasonally?*



Regarding residency in Elmwood Township, a majority of respondents have lived in the township for a considerable amount of time, with 55.7% having resided there for over 10 years, including 34.4% who have lived in the township for more than 20 years. A smaller portion of the population, 23.8%, have lived in Elmwood Township for 3-10 years, while 10% are relatively new, having lived in the township for 0-2 years. Only 1.3% of respondents indicated that they do not live in the township, suggesting that the survey responses largely reflect the views of long-term residents, with some representation from newer community members.

*Q. Please indicate which months you reside in or visit Elmwood Township.*



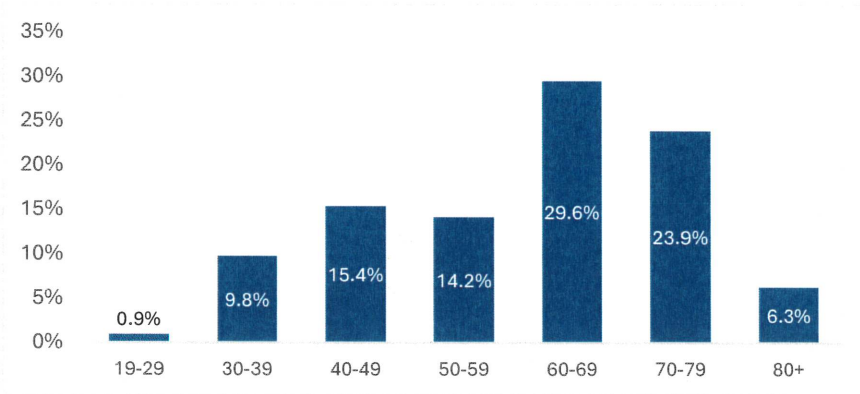
The majority of respondents (85.5%) indicated that they are year-round residents of Elmwood Township. However, there is a notable increase in seasonal residency and visitation during the summer months, with June (13.9%), July (13.6%), and August (13.9%) being the most popular times to stay or visit. This higher rate of seasonal living in the summer is likely due to northern Michigan's appeal as a prime vacation destination, offering abundant recreational opportunities, and natural beauty.

*Q. What made you decide to live in or own property in Elmwood Township? (Choose One)*



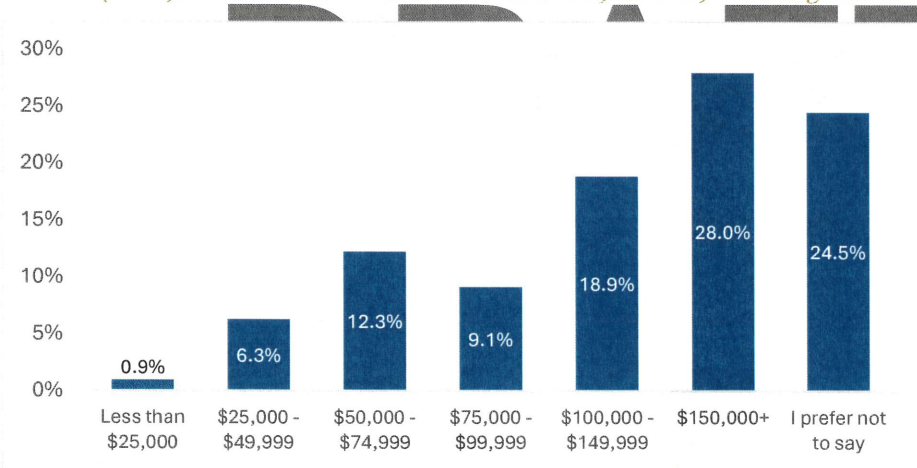
The top reason respondents chose to live in or own property in Elmwood Township is the overall quality of life (32.6%). Natural features and recreational opportunities follow closely behind at 25.1%, highlighting the township's appeal for its outdoor amenities and scenic environment. The quiet atmosphere is also a significant factor, with 20.1% of respondents citing this as their reason for choosing the township. Family ties influenced 11.0% of the respondents, while only 3.5% chose Elmwood for work-related reasons.

*Q. What is your age?*



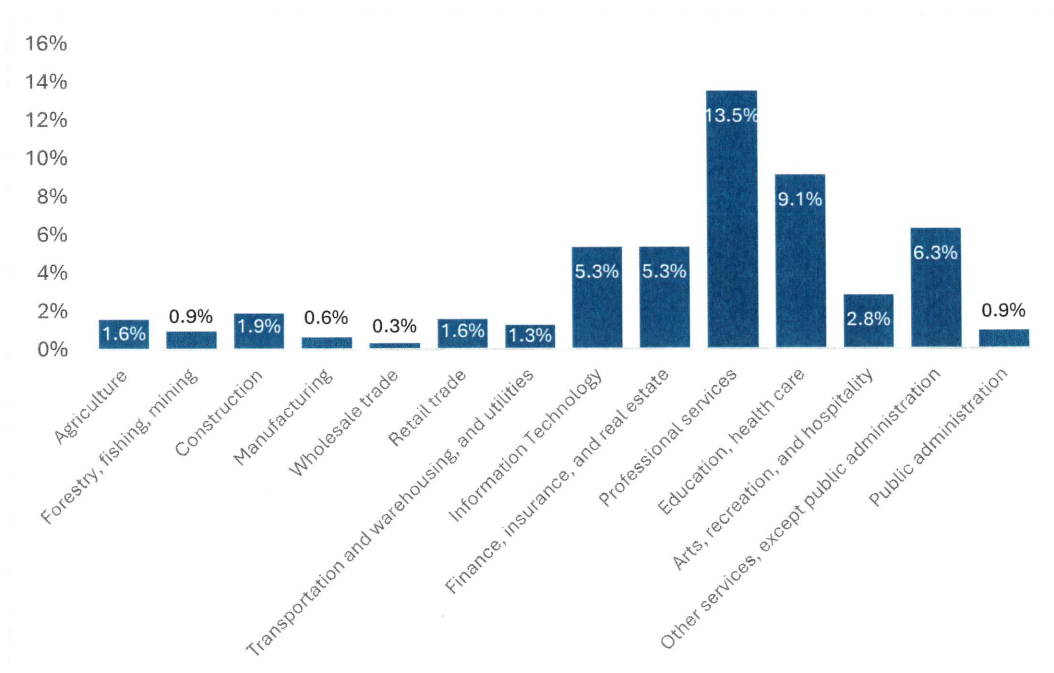
The majority of respondents in Elmwood Township fall within the 60-69 age range, making up 29.6% of participants. This is followed by the 70-79 age group at 23.9%, indicating a significant portion of the population are senior citizens. Together, the 40-49 and 50-59 age groups nearly equal the 60-69 cohort, demonstrating a skew away from prime working years. The 30-39 age group represents 9.8%, and only 0.9% of respondents are in the 19-29 range.

*Q. Approximately what is your household's total annual income, before taxes? Consider all sources (salary, bonuses, investment income, etc.) of every working member of your household.*



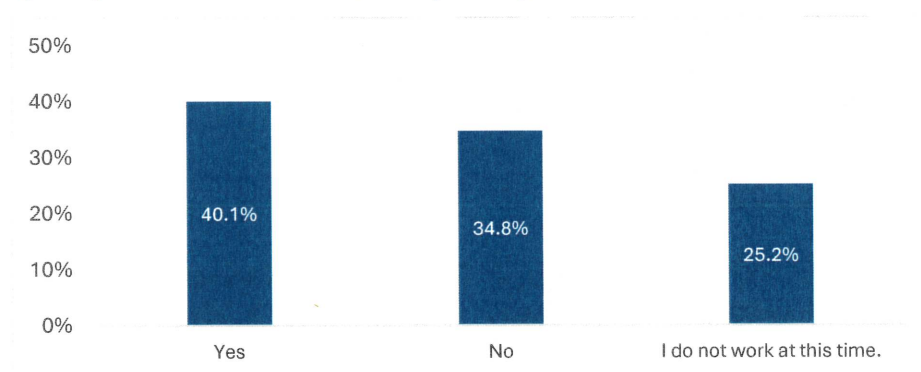
The largest portion of respondents in Elmwood Township, 28.0%, reported an annual household income of \$150,000 or more. Following this, 18.9% have an income between \$100,000 and \$149,999, while 12.3% reported earning between \$50,000 and \$74,999. Households with an income of \$75,000 to \$99,999 make up 9.1%, and 6.3% fall within the \$25,000 to \$49,999 range. Only 0.9% of respondents have an income under \$25,000. Notably, 24.5% of respondents preferred not to disclose their income.

*Q. What type of work do you do?*



Nearly half (48.6%) indicated they are retired. The largest sector for those still working is professional services at 13.5%, followed by education and health care at 9.1%. Information technology and finance, insurance, and real estate sectors both account for 5.3% of respondents. These sectors represent “knowledge workers” compared to very little representation from “manual workers.”

*Q. Do you work from home, even partially?*



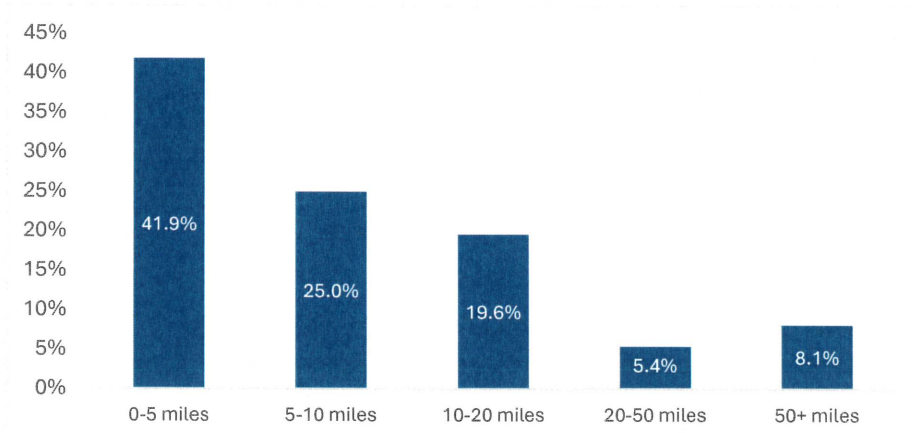
The results show that 40.1% of respondents work from home either fully or partially, while 34.8% do not work from home. This corresponds closely with the types of employment sectors represented that lend themselves to remote work.



*Q. If you answered yes to working from home, how many days a week do you typically work from home?*

Responses to this question varied widely. The largest portion work from home full-time (5-7 days a week), while others noted part-time or variable schedules, such as 2-4 days a week or fewer. The fewest number of responses indicated very specific schedules: such as 1.5 days or less but indicated flexibility when needed. Some mentioned that the amount of time they work from home varies from week to week.

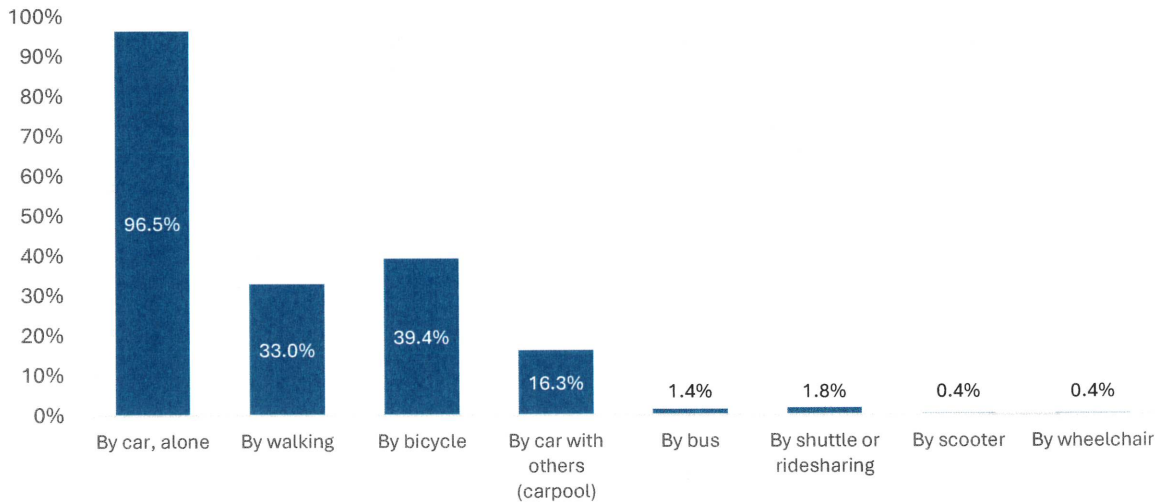
*Q. If you work, what distance do you travel to work?*



Many respondents (41.9%) travel short distances, between 0-5 miles. Combined, about two-thirds travel fewer than 10 miles to work.

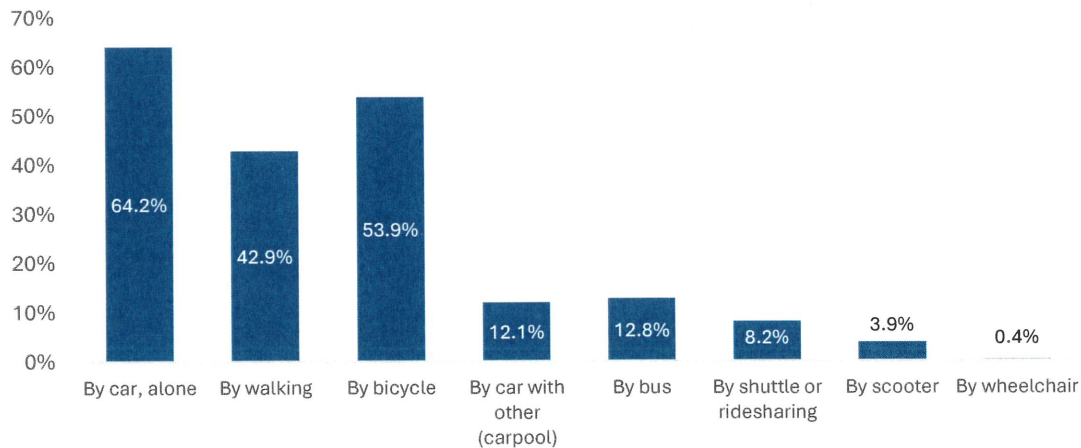
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*Q. How do you get around the area on a daily basis? Select all options that apply for your daily mode of transportation for work, school, and fun.*



Most respondents (96.5%) travel by car alone. Other popular modes of transportation include bicycling (39.4%), walking (33%), and carpooling (16.3%). Less common modes of transport are bus (1.4%), shuttle or ridesharing (1.8%), scooter (0.4%), and wheelchair (0.4%).

*Q. In your ideal world, how would you get around the area on a daily basis?*



These results, when contrasted with the previous question, indicate that residents require more options for mobility. The largest increase in the portion of survey respondents for all options was to use bussing as transportation.

*Q. Rank the following, in order of importance, with your level of agreement with the following statements. (1 through 9 scale)*

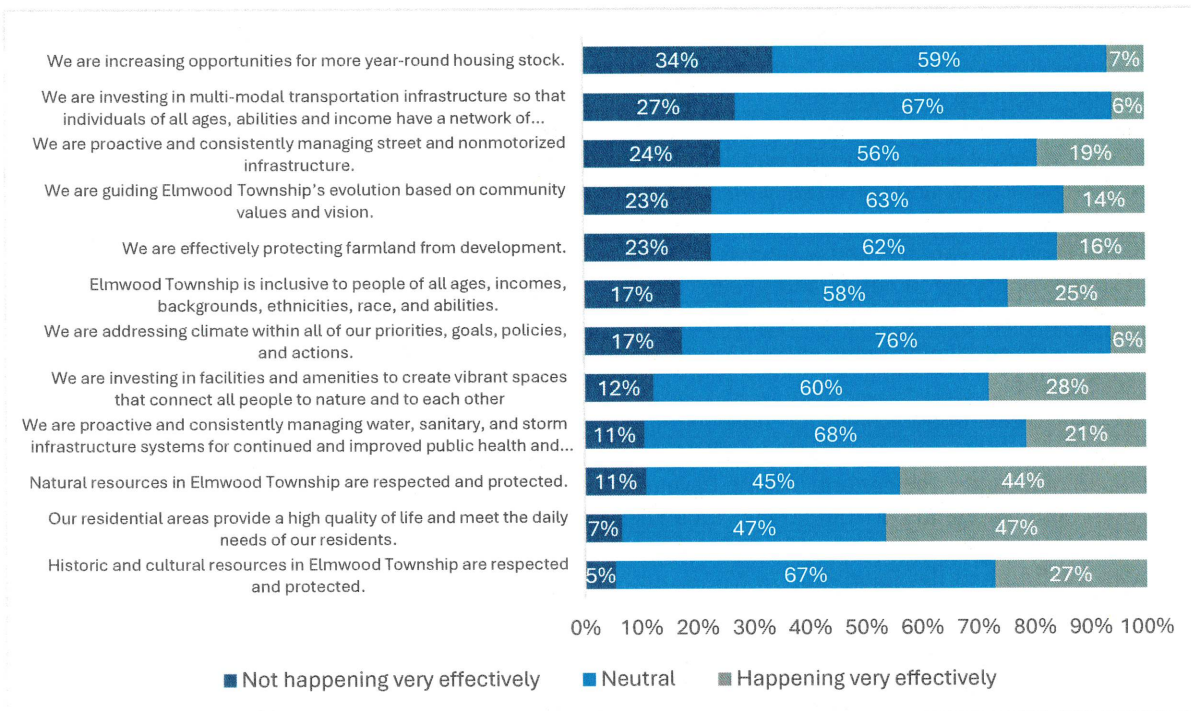
	Average Rank
Natural resources, such as lakes, creeks, and wetlands, in Elmwood Township need to be respected and protected.	7.9
We should proactively and consistently manage water, sanitary, and storm infrastructure systems for continued and improved public health and safety.	7.3
We should proactively and consistently manage street and nonmotorized infrastructure.	5.9
We should invest in facilities and amenities in order to create vibrant spaces that connect all people to nature and to each other.	4.8
We should protect farmland from development.	4.6
We should address climate within all our Township priorities, goals, policies, and actions.	4.1
We should increase opportunities for more year-round housing stock.	4.0
We should invest in multi-modal transportation infrastructure so that individuals of all ages, abilities and income have a network of complete, safe, and year-round access to our community's amenities and basic needs.	3.4
Having people of all ages, incomes, backgrounds, ethnicities, race, and abilities, is key to the future of the Township.	3.1

For this question, the nine options were placed in order of preference (scale of 1 to 9). The top two priorities for the respondents were related to natural resource protection and infrastructure management. Considering the maximum score was nine and the gap between the second score (7.3) and third (5.9), the top two were preferences by a large margin.

*Q. Is there something we missed (on the question above) that is important?*

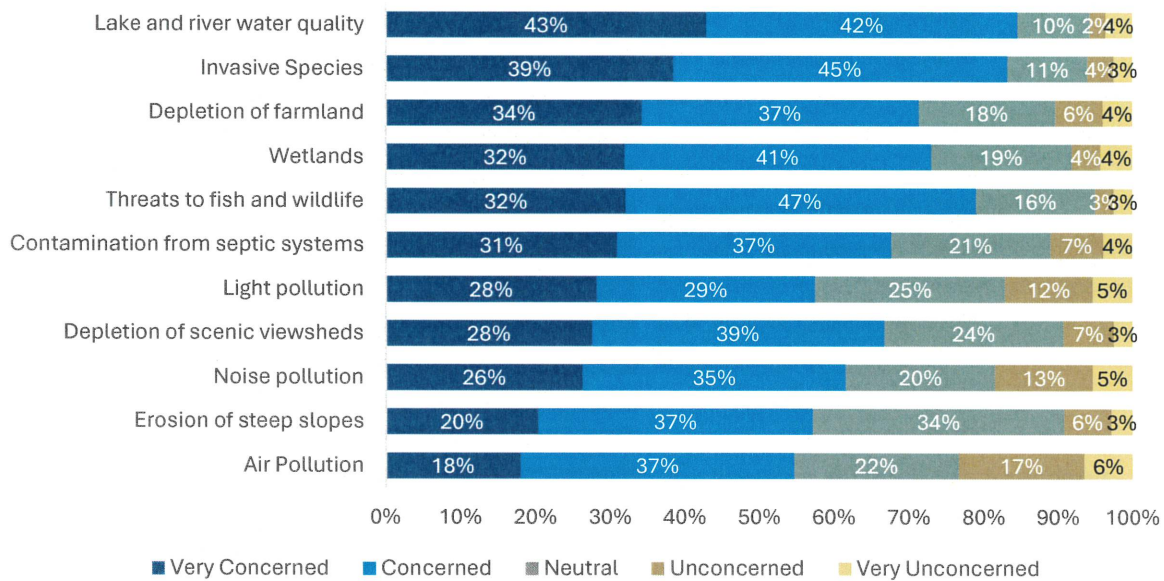
About 40% of respondents had additional thoughts to the previous question. The following are topics that were included in this response: protect neighborhoods, environmental protection, traffic, and short term rentals.

*Q. How are we doing (Elmwood Township)? Please rate the following statements.*



Opinions are mixed on the majority options: 67% are neutral about the protection of historic and cultural resources, while views on natural resource protection are evenly split between those who see it as effective (44%) and those who are neutral (45%). Investment in vibrant community spaces is seen as effective by only 28%, with 60% remaining neutral. The township's evolution and investment in multi-modal transportation also evoke neutrality from 63% and 67% of respondents, respectively, with a notable portion believing these areas are not being addressed effectively.

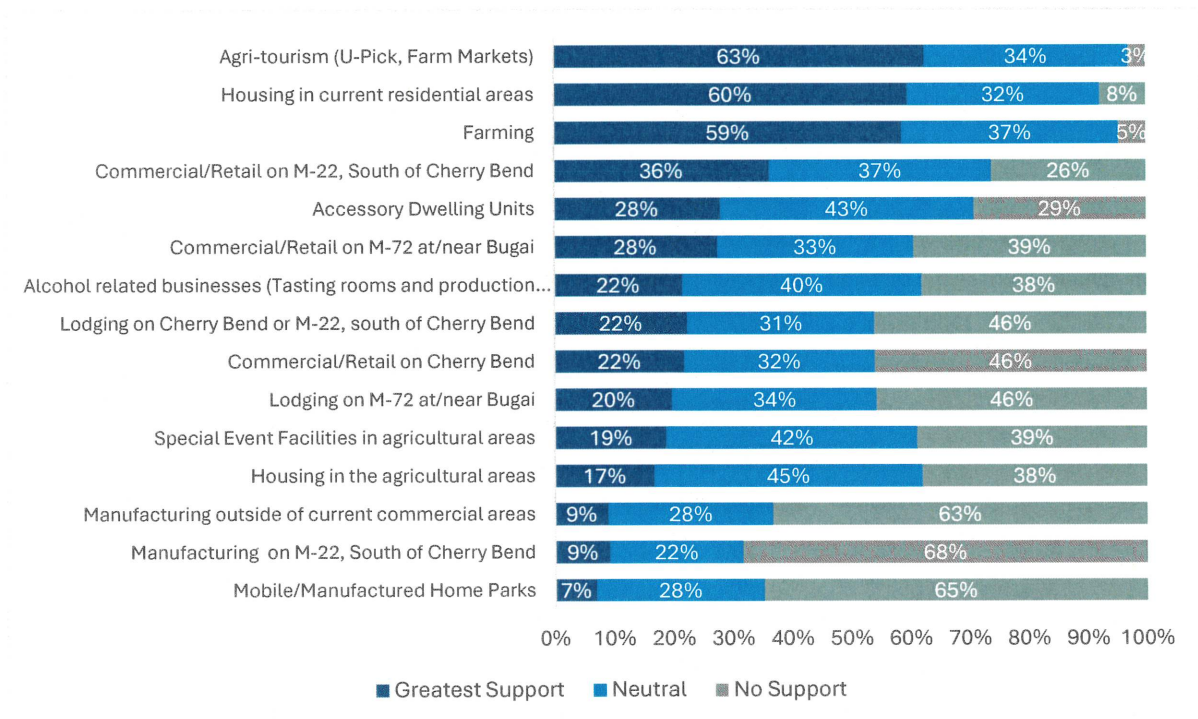
*Q. Please indicate your level of concern with each of the topics below.*



When asked to indicate their level of concern regarding various environmental issues, respondents expressed have a high concern about air and water pollution, and the health of the ecosystem in general including water quality and invasive species. Additionally, participants were concerned about the depletion of scenic viewsheds as development occurs.

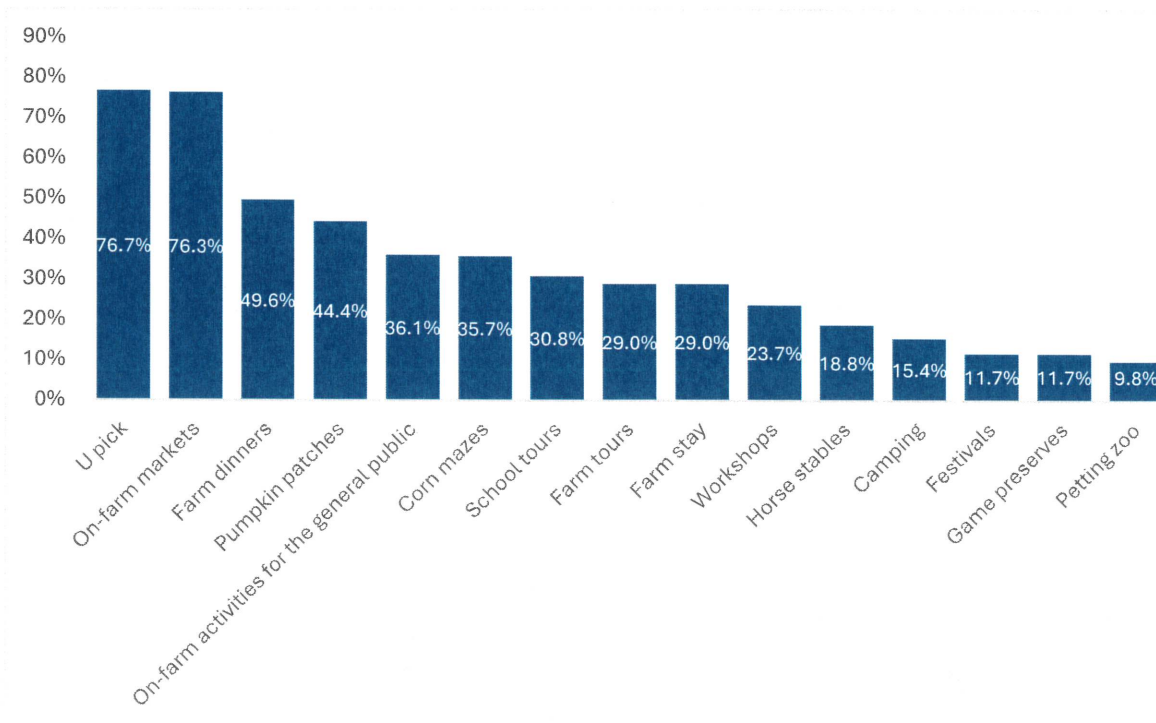
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*Q. How much would you support an increase of the following uses in the Township?*



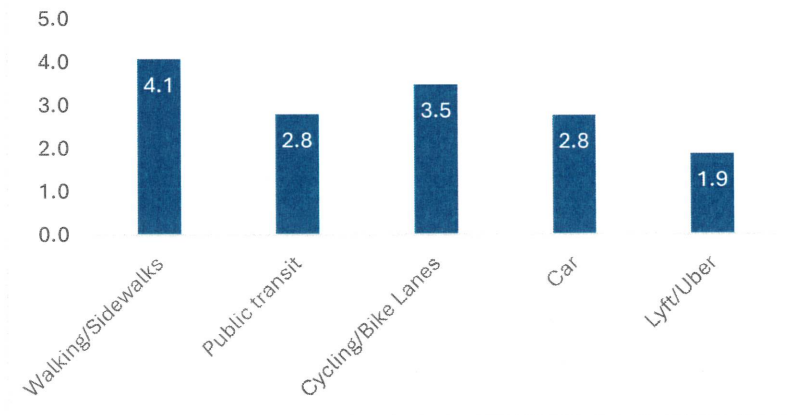
There was strong support for agri-tourism (63%), farming (59%), and housing in existing residential areas (60%). Respondents value agricultural experiences, maintaining farming activities, and expanding residential spaces within established neighborhoods, reflecting a commitment to preserving the rural landscape while allowing for thoughtful growth.

*Q. Which type of agri-tourism should be allowed in the Township? Pick up to 5*



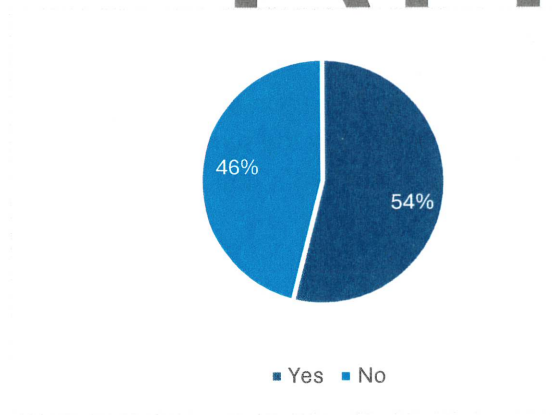
The top selections were U-pick activities (76.7%) and on-farm markets (76.3%). Other popular choices included farm dinners (49.6%), pumpkin patches (44.4%), and on-farm activities for the public (36.1%). The results of the online survey for this question are largely the same as the results for the in-person community engagement with "U-pick", "On-farm markets", and "On-farm activities" being among the top results.

*Q. What modes of transportation should Elmwood Township prioritize moving forward?*



Walking/Sidewalks ranked highest with an average of 4.1 out of 5, indicating strong support for pedestrian infrastructure. Cycling/Bike Lanes followed with a 3.5 ranking, reflecting interest in promoting cycling. Public Transit and Car usage were lower priorities, both at 2.8, while Lyft/Uber services ranked lowest at 1.9. This highlights the community's preference for sustainable and active transportation options over conventional car use and ride-sharing services.

*Q. Please indicate if you think smaller houses (less than 500 sq ft.) are appropriate in Elmwood Township.*



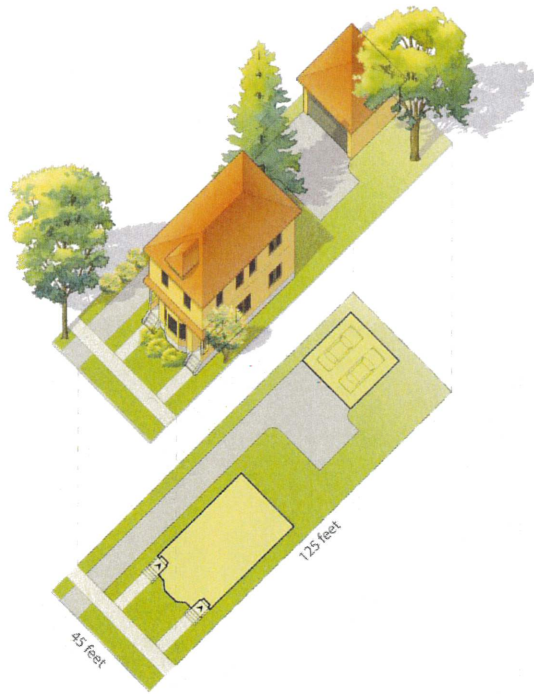
The community is relatively divided on the appropriateness of smaller houses. This close margin reflects a mixed perception of the suitability of tiny houses in the area, highlighting differing views on how to best utilize residential space in the township.



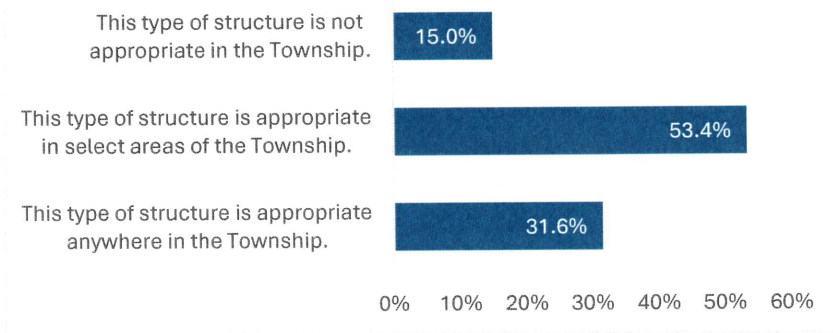
## Housing Types

The following five questions are presented as housing types where respondents were given the option to determine if they should be allowed in Elmwood Township. All five questions showed that respondents feel that they should be allowed, with low levels of disapproval for each type. For this summary, data from the in-person community engagement session was combined with the online survey so that it could be presented comprehensively.

*Q. The picture below is an example of a Stacked Duplex*



**Stacked Duplex:** a two-story structure with two separate dwelling units. Each dwelling unit occupies one floor of the structure. Please indicate if you think a stacked duplex is appropriate in the Township.

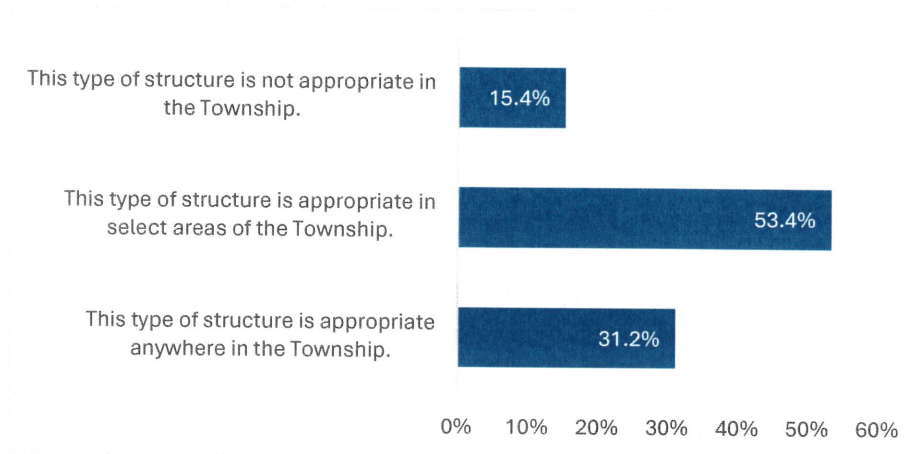


The survey results show that most respondents (53.4%) believe that stacked duplexes are appropriate in certain locations. Meanwhile, 31.6% feel that this type of structure is suitable anywhere in the township, while 15.0% think stacked duplexes are not appropriate at all. These responses suggest that while there is general openness to stacked duplexes, most residents prefer their placement to be limited to specific areas.

*Q. The picture below is an example of a Side-By-Side Duplex*



**Side-By-Side Duplex:** a structure with two separate dwelling units, side-by-side. Please indicate if you think a side-by-side duplex is appropriate in the Township.



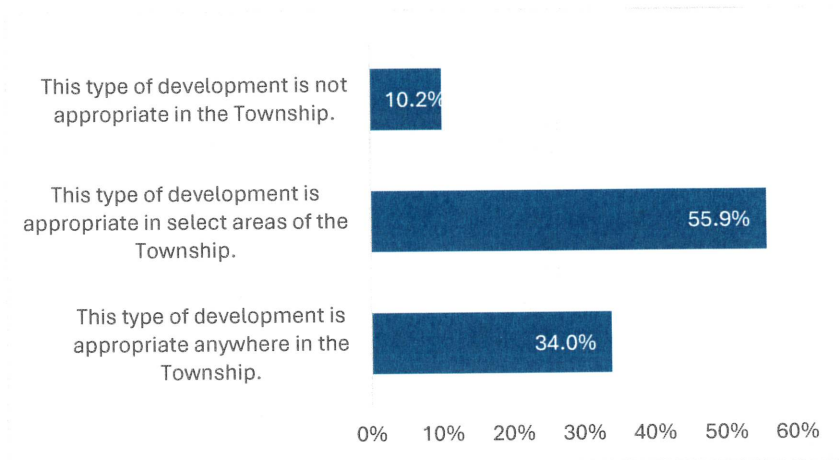
The survey reveals that many respondents (53.4%) believe side-by-side duplexes are appropriate in select areas of Elmwood Township. Meanwhile, 31.2% consider this housing type suitable for any area within the township, and 15.4% view side-by-side duplexes as inappropriate for the township. This distribution of opinions suggests a preference for controlled and strategic placement of such duplexes rather than widespread acceptance across all areas.

*Q. The picture below is an example of a Cottage Court*



**Cottage Courts:** planned arrangements of small single-family homes, bordering one common space or "court." They allow increased density while maintaining a familiar single-family structure,

as well as increasing community cohesion with the shared courtyard spaces. Please indicate if you think cottage courts are appropriate in the Township.



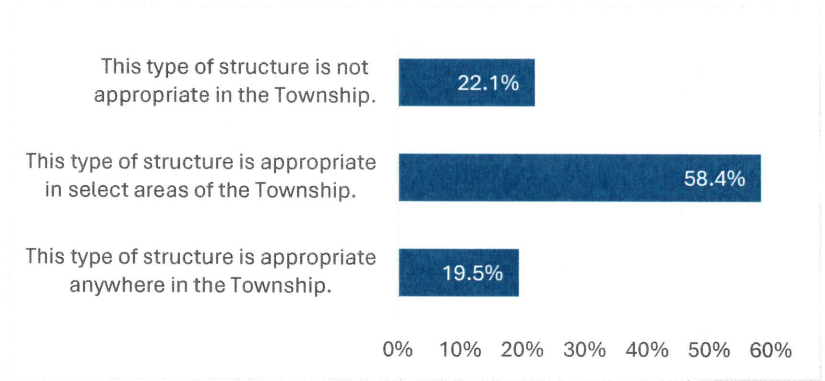
The survey results indicate that most respondents (55.9%) believe that cottage courts are appropriate in select areas of Elmwood Township. Additionally, 34.0% of respondents feel that this type of development is suitable anywhere in the township, suggesting a significant openness to this housing model. Only a small portion, 10.2%, consider cottage courts inappropriate for the township. These responses reflect a general acceptance of cottage courts, particularly in designated areas, recognizing their potential to enhance community cohesion and increase residential density while preserving the character of single-family living.

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*Q. The picture below is an example of a Townhome*



**Townhomes:** Structures with multiple connected dwelling units, horizontally arranged, each with their own independent entrances. Please indicate if you think a townhome development is appropriate in the Township.

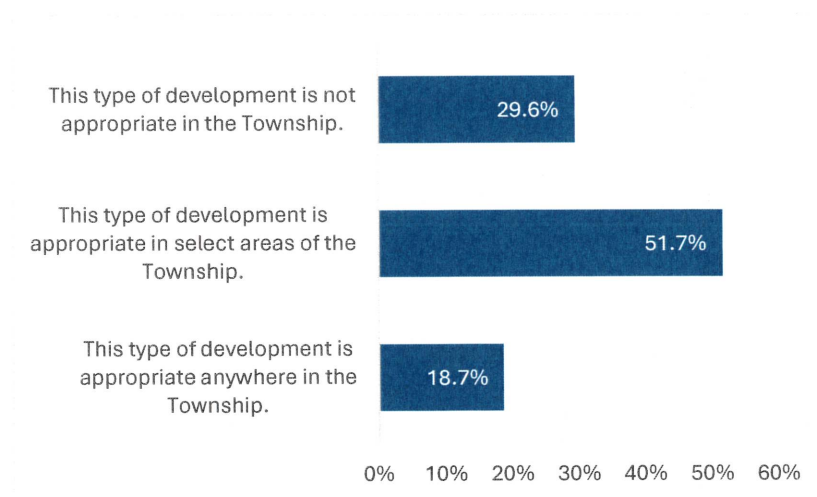


Almost 3 in 5 respondents (58.4%) said that Townhomes are appropriate in select areas of the Township, and another one fifth (19.5%) said they are okay anywhere. Survey results indicate a preference for careful consideration of where townhomes should be located, ensuring they align with the character and planning goals of specific areas within the township.

*Q. The picture below is an example of a Courtyard Home*

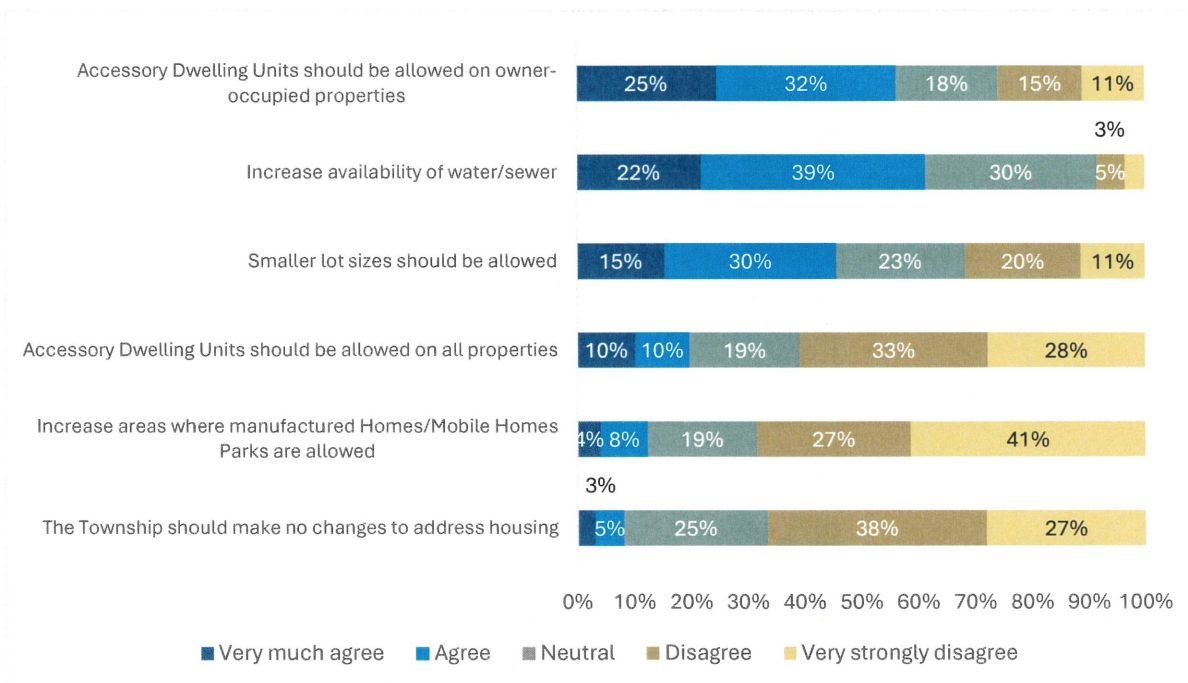


**Courtyard Homes:** Arrangements of multi-family homes, with several side-by-side or stacked duplexes or triplexes surrounding a common, shared courtyard. Please indicate if you think courtyard homes are appropriate in the Township.



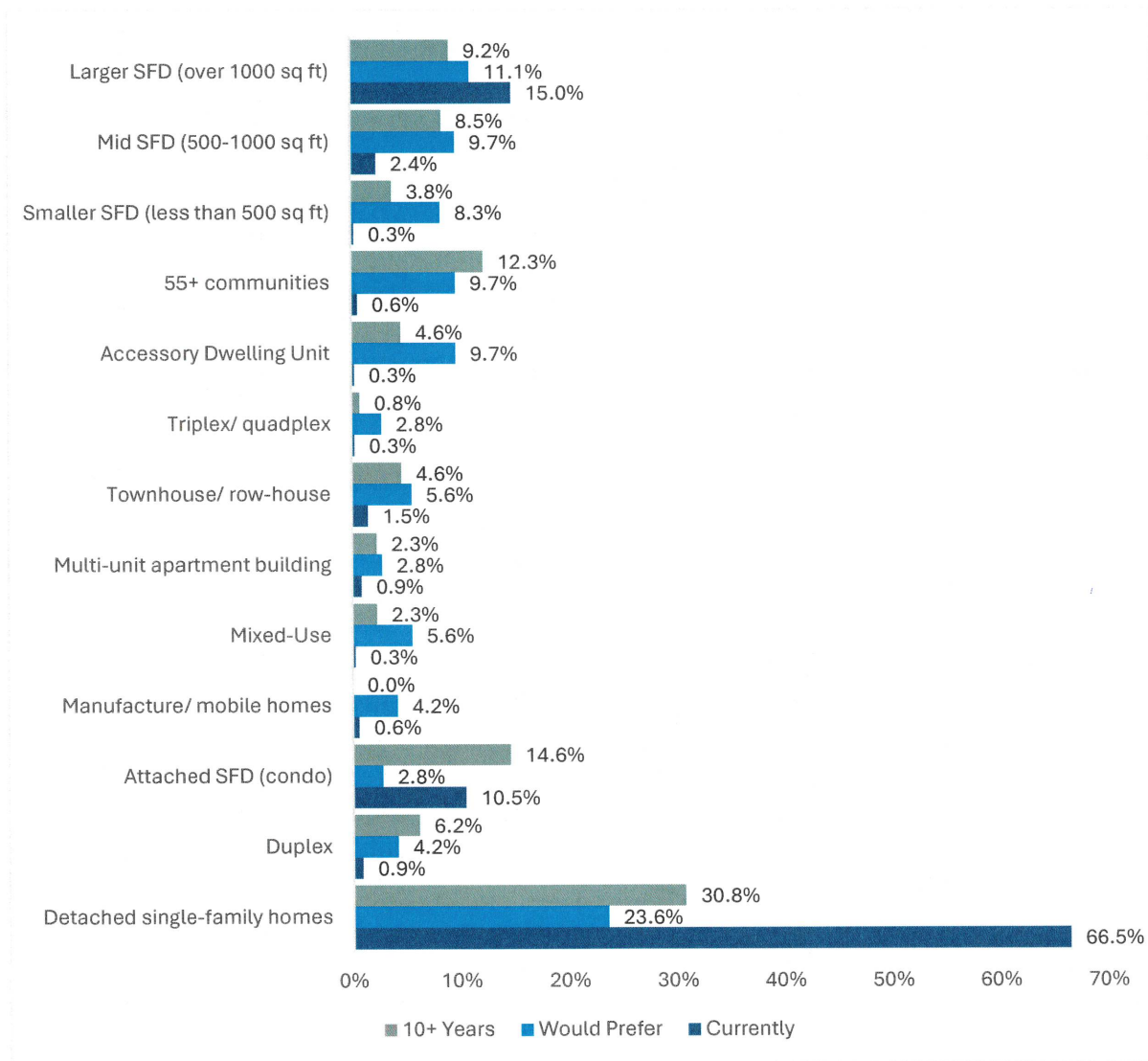
This suggests a cautious approach to integrating courtyard homes, with a preference for limiting their placement to areas that align well with such a housing configuration.

*Q. Thinking of housing, how much do you agree with the following?*



Survey respondents expressed strong support for expanding water and sewer services and allowing Accessory Dwelling Units (ADUs) on owner-occupied properties. However, there is notable opposition to both expanding areas for manufactured homes or mobile home parks and allowing ADUs on all properties. Additionally, there is moderate support for reducing lot sizes to accommodate more housing, but concerns about unrestricted changes to housing policies remain. Overall, the community favors infrastructure improvements and controlled adjustments to housing policies with specific limitations.

*Q. What type of housing unit do you currently live in, what type would you prefer to live in now if the option were available in order to better meet your housing needs, and what type of unit would you like to live in 10 or more years from now?*



Currently, the predominant housing type in the community is detached single-family homes, which make up 66.5% of the housing stock, and attached single-family dwellings, such as condos, represent 10.5%.

Preferred housing types are detached single-family homes, with 23.6% who don't currently live in one expressing a preference for this style. Both accessory dwelling units and 55+ communities are each a preference of respondents, showing an interest in flexible living arrangements and options tailored for older adults.

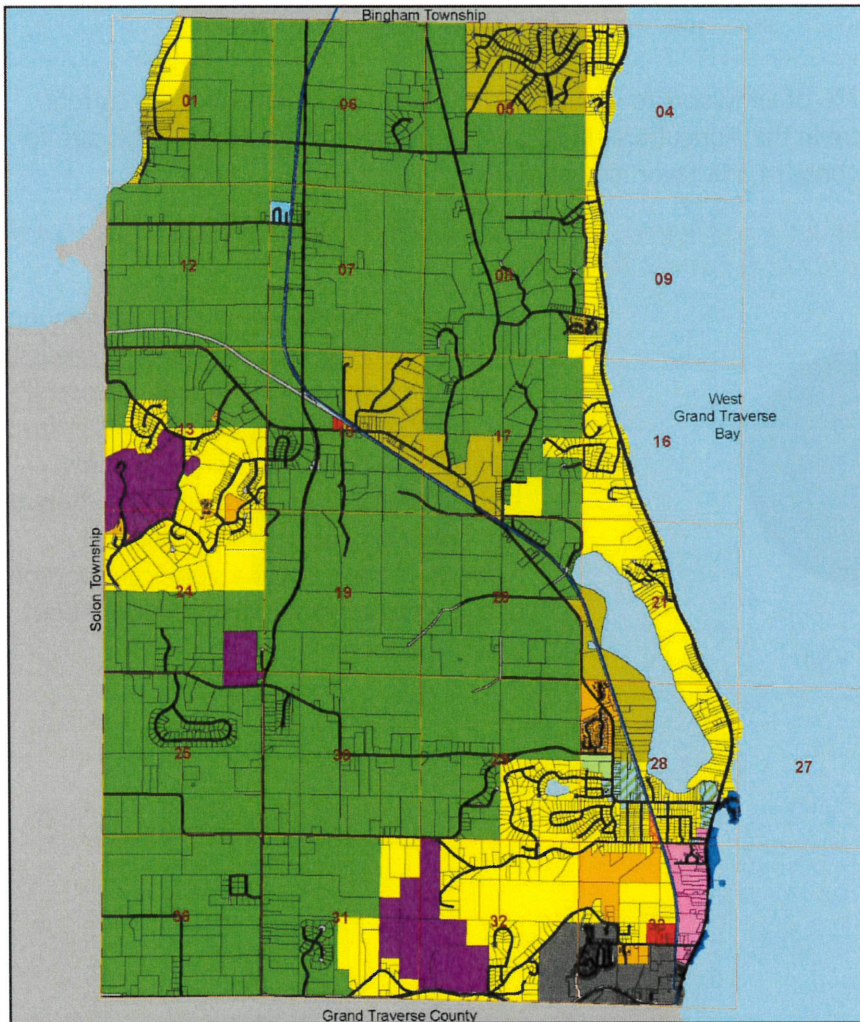
The preferences for housing types that residents would like to live in over the next ten years also a clear preference toward detached single-family homes. Following this, attached single-family



dwelling (condos) are preferred, along with 55+ communities, reflecting a desire for age-appropriate living options.

Survey results reveal that over time detached single-family homes are expected to remain the top option for housing. However, interest in smaller and more flexible living options is growing. Duplexes, townhouses, and condominiums are expected to see an increase in demand in future housing preferences.

## Land Use



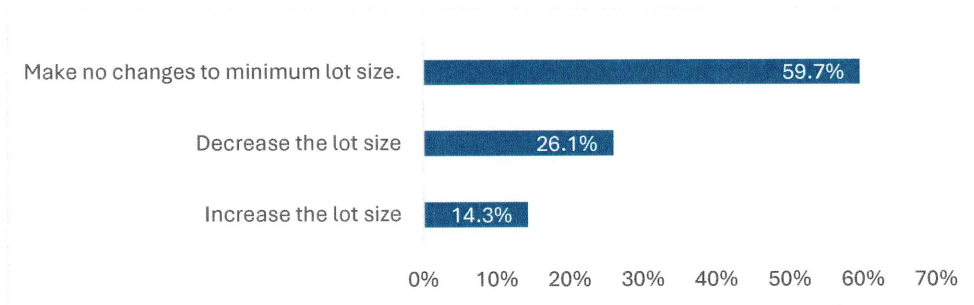
### CHARTER TOWNSHIP OF ELMWOOD

#### Zoning Districts

- |                            |                              |                           |                      |
|----------------------------|------------------------------|---------------------------|----------------------|
| Agricultural - Rural (A-R) | Manufactured Home Park (MHP) | General Commercial (GC)   | Conditional Rezoning |
| Residential 1 (R-1)        | Rural Resort (RR)            | Light Industrial (LI)     |                      |
| Residential 2 (R-2)        | Municipal Center (MC)        | Shoreline Commercial (SC) |                      |
| Residential 3 (R-3)        | Neighborhood Commercial (NC) | Traverse City             |                      |

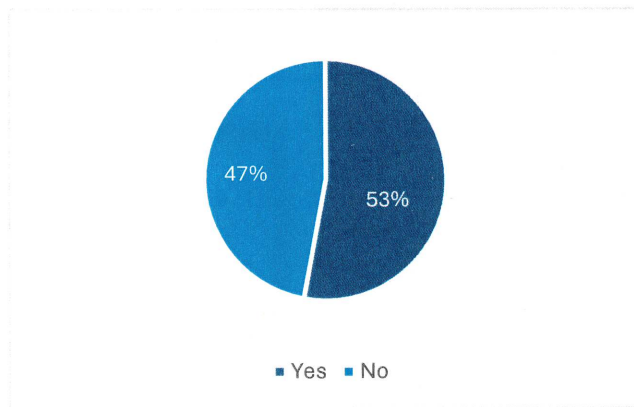
Official Zoning Map  
 September 1, 2017

*Q. The minimum lot size in the Agricultural-Rural Zoning District is currently one acre. (dark green areas in the above zoning map) Should the Township:*



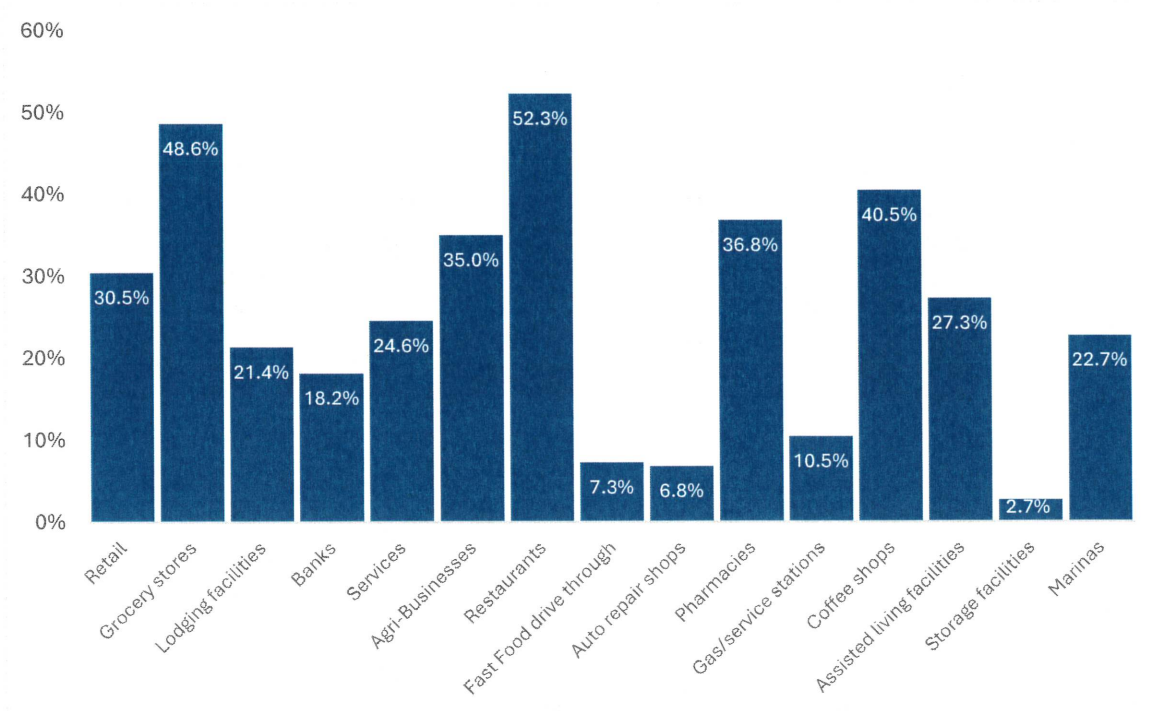
The survey shows that 59.7% of Elmwood Township residents support maintaining the current minimum lot size of one acre in the Agricultural-Rural Zoning District. About 26.1% advocate for reducing the lot size, while only 14.3% favor increasing it.

*Q. I would support expanding the residential (R-1, R-2, R-3; yellow, olive, and orange areas in the zoning map above) zoning district(s) in the Township?*



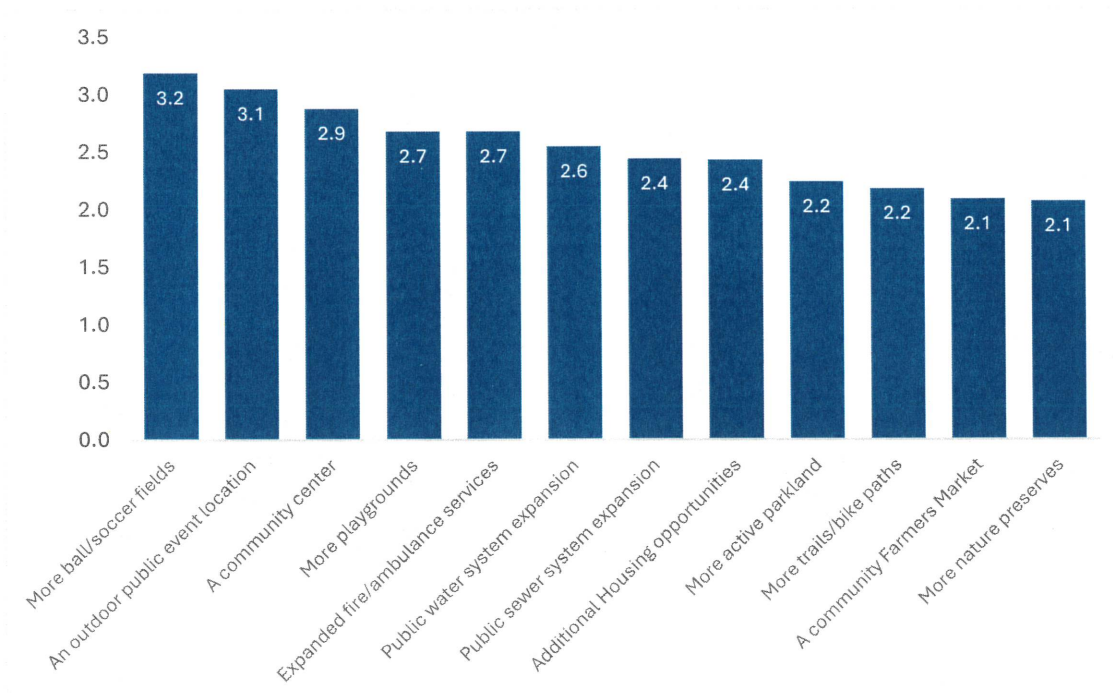
The survey results show that the community in Elmwood Township is divided on the issue of expanding residential zoning districts (R-1, R-2, R-3), with 53% of respondents in favor and 47% opposed. This slight majority support suggests some openness to growth and development within designated residential areas, while a significant portion of the community remains cautious about such expansions.

*Q. What types of commercial businesses are needed in Elmwood Township? Pick your top 5 choices.*



The survey respondents said that restaurants (52.3%) and grocery stores (48.6%) are the most desired commercial businesses. Pharmacies (36.8%) and coffee shops (40.5%) also received significant support, highlighting a demand for healthcare and social spaces. Agri-Businesses were supported by 35% of respondents, reflecting an interest in promoting agricultural-related commerce.

*Q. Rate your agreement with the following statements. Elmwood Township really needs:*



For this question each respondent was given an option to answer level of agreement on a scale of strongly agree, agree, neutral, disagree, and strongly disagree. These answers were given a corresponding number on a scale of 1 through 5, with strongly disagree receiving 1 and strongly agree receiving a 5.

Survey responses indicate that little variation; across all statements there is only 1.1 difference. At the top of the list, respondents prioritize recreation: more ball/soccer fields (3.2) and an outdoor public event location (3.1), reflecting strong interest in recreational and gathering spaces. A community center follows with a score of 2.9, highlighting the desire for a central hub. In contrast, a community farmers market, more nature preserves, and more trails/bike paths scored 2.1 to 2.2, showing moderate interest in outdoor and agricultural amenities.

Public safety and infrastructure improvements, such as expanded fire/ambulance services, public water system expansion, and public sewer system expansion, scored between 2.6 and 2.7, indicating they are necessary but less urgent. Overall, the community prioritizes enhancing recreational and gathering spaces, with essential services and infrastructure also valued but not as immediate.

### Open Ended Questions

*Q. What are the two biggest assets of the Township?*

The open-ended responses highlight several key assets of Elmwood Township with responders stating that natural beauty and abundant water resources are prominent assets, as are the recreational and community spaces. Additionally, the township's strategic location near Traverse City and as the *Gateway to Leelanau County* enhances its appeal. Community governance is also

recognized as an asset, contributing to the overall well-being and engagement of the township's residents.

*Q. What would you say are the two biggest challenges facing the Township?*

Respondents state that in their views the biggest challenges facing Elmwood Township are development pressures like urban and commercial sprawl, as well as housing concerns like affordability and variety. Additionally, managing community and environmental resources poses difficulties, and maintaining community cohesion and communal spaces.

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# Transportation

Transportation networks are vital for ensuring connectivity in all aspects of daily life. Roads, sidewalks, trails, and other infrastructure enable residents to reach their homes, workplaces, and social venues. Integration with larger transportation systems, such as highways, railways, and air travel facilities facilitate the movement of people and goods, influencing the municipality's ability to import and export products and services.






This chapter offers a comprehensive overview of Elmwood Township's roadways and other transportation systems, along with community feedback regarding the current and desired states of connectivity and mobility. Based on these insights, it will explore potential opportunities to enhance the Township's transportation and mobility infrastructure, with a focus on developing multimodal, non-motorized transportation networks to improve access within the Township and surrounding areas.

# DRAFT



## National Functional Classification

Sources: Michigan Open Data Portal, Elmwood Township, Michigan Department of Transportation (MDOT)

-  Elmwood Township
-  Non-Certified Roadway
-  Local
-  Minor Arterial
-  Major Collector

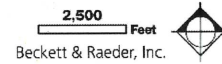


FIGURE XX: ELMWOOD TOWNSHIP ROAD NETWORK

## INVENTORY AND EVALUATION

Internally, the Township is comprised of a system of public and private roads providing connections to nearby communities and directly serving farmsteads, commercial operations, and numerous residential areas. Public road maintenance and plowing is provided by the Leelanau County Road Commission (LCRC) while private roads are maintained by the property owners. Elmwood's two largest transportation routes are Michigan Highways 22 and 72 (M-22 and M-72). Another major route within the Township is Lake Leelanau/Bugai Road.

M-22 is an approximately 117-mile state trunkline highway which winds along the hilly Lake Michigan Shoreline in Leelanau, Benzie, and Manistee counties, with its terminus points in Traverse City in the north and Manistee at the south.<sup>1</sup> The highway is a famous route for locals and tourists alike for its views and access to tourist destinations like Leelanau State Park, Sleeping Bear Dunes, and many quaint downtowns.<sup>2</sup> M-22 is a Michigan State Heritage Route also known as Pure Michigan Byways. The Pure Michigan Byways Program seeks to designate portions of the state trunk line highways as scenic routes to enhance Michigan's scenic, recreational, and historic resources. It includes designating new byways and maintaining existing ones. The Michigan Department of Transportation (MDOT) reviews and approves applications from byway committees, which may receive administrative support and funding for planning activities outlined in their Corridor Management Plan, with MDOT overseeing these funds.<sup>3</sup> The Michigan Department of Transportation (MDOT) has dedicated approximately \$24.6 million to rebuilding the stretch of M-22 between M-72 (including the M-72 intersection with operational upgrades) and Cherry Bend Road, beginning in 2025.<sup>4</sup> This project will result in new roadways and a new 10 foot wide paved pedestrian path.<sup>5</sup>

M-72, locally known as East Traverse Highway, is also a state trunkline highway, running about 157 miles and bisects the state from east to west. Its eastern extent is in Harrisville in Alcona County on the Lake Huron shoreline across northern Michigan to its western terminus in in the Village of Empire in Leelanau County. Within Elmwood Township, M-22 spans about 6.5 miles along the eastern border overlooking the West Arm Grand Traverse Bay, while M-72 meanders in and out of the Township along the southern border for about 3.5 miles.

Cherry Bend Road crosses the center of Elmwood Township off M-22 and west of Cedar Lake. It is the primary route to access the commercial and residential hub within Elmwood Township. In recent years, plans have been developed for Cherry Bend Road corridor to be more pedestrian-friendly. Specifically, the Township (in conjunction with the Leelanau County Road Commission, Networks Northwest, and TART Trails) have been working on developing plans for a 10' trail along Cherry Bend that extends from the M22/Cherry Bend intersection and ending at the Township's Cherry Bend Park. Anticipated construction would take place in 2026 as the Road Commission anticipates work on Cherry Bend Road at that time.

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<sup>1</sup> Michigan Department of Transportation, State Highway GIS, M-22, [mdotgis.state.mi.us/portal/](https://mdotgis.state.mi.us/portal/)

<sup>2</sup> Michigan Economic Development Corporation, Scenic Drive, 6-28-2024. [www.michigan.org/article/trip-idea/](https://www.michigan.org/article/trip-idea/)

<sup>3</sup> Michigan Department of Transportation, Program Information, 10-15-2024, [www.michigan.gov/mdot/travel/tourists/byways/program-information](https://www.michigan.gov/mdot/travel/tourists/byways/program-information)

<sup>4</sup> Michigan Department of Transportation, M072/M-22 Rebuilding Project, Project Overview

<sup>5</sup> Elmwood Charter Township, 2023 Parks and Recreation Plan, p.10




## Community Input

Of all participants in community engagement, over 96% said that they use an automobile to get around as daily transportation. When asked how they would ideally get around only 64% said they would use the automobile, with many stating they would rather walk or bike

## Average Annual Daily Traffic

Average Annual Daily Traffic (AADT) is a fundamental metric in transportation planning and engineering, as well as retail location selection. It represents the total volume of vehicle traffic on a highway or road over the course of a year, averaged over 365 days. The mathematical formula can be seen in the call out box title *AADT Formula*. AADT provides a clear indication of how heavily trafficked a road segment is, serving as a crucial factor in decision-making. In the United States, AADT figures play a pivotal role in determining federal funding allocations for highway maintenance and improvement, with each state's Department of Transportation submitting an annual report that includes AADT data as part of the Highway Performance Monitoring System (HPMS).<sup>6</sup>


$$\text{AADT} = \frac{\text{Total \# of vehicle traffic in a year}}{365}$$

In Michigan, MDOT tracks AADT through its Traffic Monitoring Program (TMP) where it collects, analyzes, and reports data for over 36,000 miles of federally funded roadways.<sup>7</sup> This data is gathered in a variety of ways, historically it was done by stationing someone at a desired corridor who would manually count vehicles that drove by, nowadays it is typically gathered by placing pneumatic tubes across the roadway which push air to a receiver when a vehicle drives on the tube. The receiver senses the change in air pressure changes and records this as a vehicle crossing. These sensors typically are placed anywhere from 2-14 days and average the data gathered over that timespan to create a traffic count.<sup>8</sup> The TMP gathers data for AADT in Elmwood Township for six roads at various locations in Elmwood Township shown in the table "AADT in Elmwood Township, 2022".

<sup>6</sup> Federal Highway Administration, AADT, [www.fhwa.dot.gov/policyinformation/travel\\_monitoring/](http://www.fhwa.dot.gov/policyinformation/travel_monitoring/)

<sup>7</sup> Michigan Department of Transportation, Traffic Monitoring Program, [www.michigan.gov/mdot/programs/planning/asset-mgt/traffic-monitoring-program](http://www.michigan.gov/mdot/programs/planning/asset-mgt/traffic-monitoring-program)

<sup>8</sup> American Association of State Highway and Transportation Officials, Guidelines for Traffic Data Programs, 11-4-2024, [aashtojournal.transportation.org/](http://aashtojournal.transportation.org/)

Table XX: AADT in Elmwood Township, 2022

Roadway	AADT
M-22	20,940
M-72	6,803-10,851
Cherry Bend Road	3,696
Center Highway	1,235
Lake Leelanau Road (CR-641)	3,138
Bugai Road (CR-616)	7,134
Fouch Road	639
Hoxie Road	899

Source: Michigan Department of Transportation

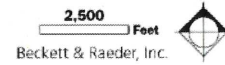
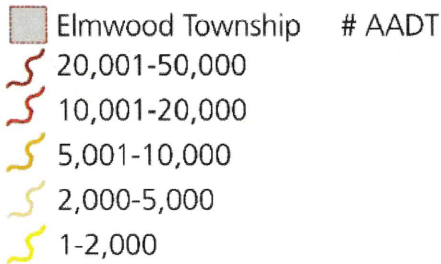
Figure XX: AADT in Elmwood Township

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## Annual Average Daily Traffic (AADT)

Sources: Michigan Open Data Portal, Elmwood Township, Annual Average Daily Traffic (AADT)



## Road Conditions in Elmwood Township

The Transportation Asset Management Council (TAMC) plays a crucial role in Michigan's infrastructure management. It monitors and evaluates the condition of transportation assets, particularly state-owned roads and bridges, using the Pavement Surface Evaluation and Rating (PASER) system. They report to the Michigan Infrastructure Council and the State Transportation Commission, advocating for asset management excellence and for tools and practices to improve road agency operations. TAMC also collaborates with other asset owners to ensure comprehensive infrastructure management across the state. Through the PASER system, roads are rated through several metrics that relate to the level of maintenance needed on a scale of 1 to 10; TAMC then takes this information and ranks in in the categories of either "poor", "fair", or "good".

**Table XX: PASER and TAMC Rating Scale with Recommended Treatment**

PASER Rating	PASER Description	TAMC Description	Recommended Treatment	
			Asphalt Pavement	Concrete Pavement
10	Excellent	Good	No Maintenance	No Maintenance
9	Excellent		Little or no maintenance	Routine maintenance, crack sealing
8	Very Good			
7	Good	Fair	Crack-sealing, minor patching	Surface repairs, partial depth patching
6	Good		Preservative treatments, sealcoat	
5	Fair		Poor	Structural improvement - overlay
4	Fair	Reconstruction		
3	Poor			Reconstruction
2	Very Poor	Reconstruction		
1	Failed			

Source: TAMC

The data gathered by the TAMC can be visualized in the figure "Quality of State-Owned Roadways, Elmwood Township" shows PASER ratings for roads in Elmwood Township. These roads that are rated in the map are the only roads in the Township tracked by the State. As indicated previously in this chapter, public road maintenance and plowing is provided by the Leelanau County Road Commission (LCRC) while private roads are, or should be, maintained by the property owners.

The southeast portion of the Township is in most need of work, with M-72 across the southern border being rated poor and M-22 coming out of Traverse City and North along West Arm Traverse Bay to the north extent of Cedar Lake being poor as well. This is expected as the area handles the highest traffic counts observed on roads in the Township. Furthermore, Cherry Bend Road where it intersects M-22 and runs west of Cedar Lake all the way to Lake Leelanau Road received a poor rating. Roads in Elmwood Township are maintained by the Leelanau County Road Commission although road improvements can be a collaborative effort with the Township.

The Leelanau County Road Commission is responsible for maintaining about 170 miles of primary roads and 425 miles of local roads throughout the County, with 80% of them being paved.<sup>9</sup> All but 50 miles of this road network is plowed in the winter as well. The 2024 Budget for the LLRC was \$9,041,228, with this funding needed to cover scheduled maintenance as well as unforeseen

<sup>9</sup> Leelanau County Road Commission, History, 11-5-2024, leelanaucountyroads.org/history

repairs.<sup>10</sup> The LLRC depends on PASER ratings to accurately inform where resources should be used, as they are too limited to complete all projects each year, the projects that are scheduled for completion must be the most necessary. At the time of this writing, the County had no funding allocated for road work in the Township for 2025.<sup>11</sup>

**Figure XX: Quality of Public Roadways Within Elmwood Township**

# DRAFT

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<sup>10</sup> Leelanau County Road Commission, Budget Summary 2024, 11-5-2024, [static1.squarespace.com/static/514cbc76e4b0d2e6d865d63b/t/657330bbd3c8671544bafb23/1702047931179/Budget+Summary+2024.pdf](https://static1.squarespace.com/static/514cbc76e4b0d2e6d865d63b/t/657330bbd3c8671544bafb23/1702047931179/Budget+Summary+2024.pdf)

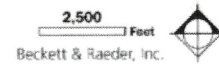
<sup>11</sup> Leelanau County Road Commission, personal communication, 9-25-2024.



## PASER 2023

Sources: Michigan Open Data Portal, Elmwood Township, Michigan Transportation Asset Management Council PASER Ratings

-  Elmwood Township
-  Poor
-  Fair
-  Good



## Road Safety

From 2019 to 2023, there were a total of 491 automobile accidents in Elmwood Township and two accidents resulted in fatalities (see Table XX).<sup>12</sup> These accidents were distributed throughout the Township, mostly along larger roads such as M22, M72, S Bugai Road, and E Cherry Bend Road; the actual distribution is shown in Figure XX. There are a few notable areas where car accidents were more prevalent. The highest number of accidents at an intersection were at Cherry Bend Road and Lake Leelanau Road with 14 accidents, followed by the intersection of Cherry Bend Rd and M-22 with 11 number of accidents. Another area of concern with the high number of accidents is along M-22 between M-72 and Cherry Bend Road.<sup>13</sup>

Of all 491 automobile accidents reported, there was one recorded bicyclist involved, and one recorded pedestrian involved accident; a rate of about 0.2% for both bicyclist and pedestrian involved accidents compared to all accidents. The State of Michigan has a rate of about 0.5% for bicyclist accidents and a rate of about 0.7% for pedestrian involved accidents, showing that Elmwood is marginally safer for both.<sup>14</sup> The well-developed TART and Leelanau Trails and other recreation spaces in the area have likely helped to keep this statistic below the state average. With the addition of wider path sidewalks along M-22 and Cherry Bend Road, there is more space planned for bicyclists and pedestrians alike.

The table which breaks down the total accidents from 2019 to 2023 by year shows that accidents saw a large uptick during the time frame after an initial dip in 2020 which likely resulted from less automobiles being on the road during the beginning of COVID. Figure XX show the location distribution of all accidents recorded in this dataset.

Table XX: Car Accident Data, 2019-2023

Severity of Accident	2019	2020	2021	2022	2023
No Injury	88	76	75	100	84
Possible Injury	4	6	6	9	9
Minor Injury	4	2	5	4	8
Serious Injury	2	1	3	1	2
Fatal Injury	-	-	-	1	1
<b>Total Count</b>	<b>98</b>	<b>85</b>	<b>89</b>	<b>115</b>	<b>104</b>

Source: Michigan Open Data Portal

<sup>12</sup> State of Michigan, Open Data Portal, 7-22-2024, data.michigan.gov.

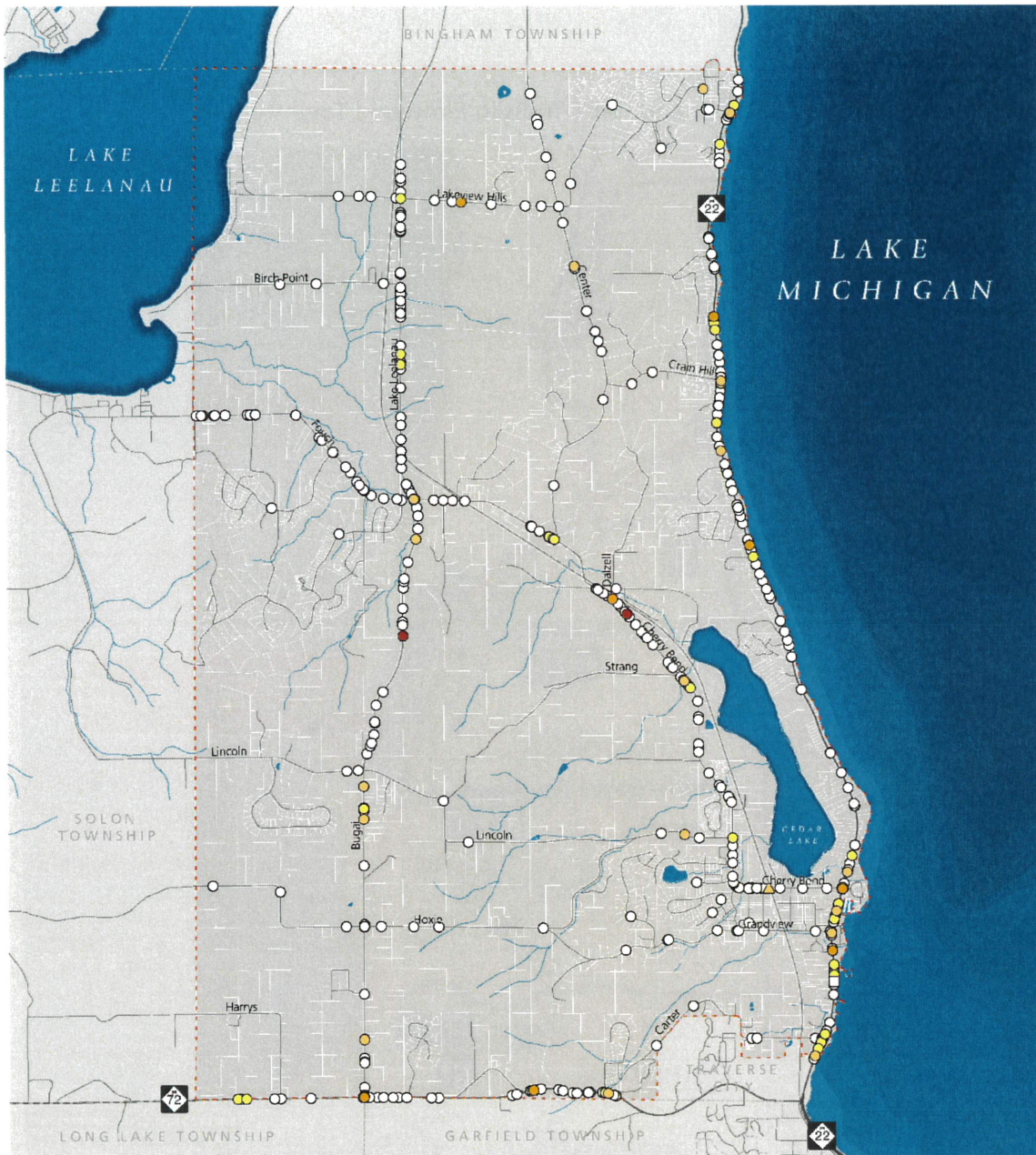
<sup>13</sup> Ibid.

<sup>14</sup> Michigan State Police, 2022-2023 Michigan Traffic Crash Summary, 7-23-2024, michigan.gov.

Figure XX: Map of Car Accidents, 2018-2023

**DRAFT**





## Crash Data 2019-2023

Sources: Michigan Open Data Portal, Elmwood Township, Michigan Traffic Crash Facts (MTCF)

- |                                                                                                      |                                                                                                                 |
|------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
|  Elmwood Township |  Bicyclist Involved          |
|  No Injury        |  Pedestrian Involved         |
|  Possible Injury  |  No Bicyclist, No Pedestrian |
|  Minor Injury     |                                                                                                                 |
|  Serious Injury   |                                                                                                                 |
|  Fatal Injury     |                                                                                                                 |

2,500 Feet  
 Beckett & Raeder, Inc.

## TRAIL NETWORKS

Figure XX: Map of the Leelanau and TART Trails in Elmwood Township



Source: [traversetrails.org](http://traversetrails.org)

### Leelanau and TART Trails

The Leelanau Trail was created in the early 1990s along the route of the former Traverse City, Leelanau & Manistique Railroad after rail operations in the area ceased. In 1994, the Leelanau Trail Association (LTA) purchased 15 miles of the corridor from Traverse City to Suttons Bay, while it was initially opposed by locals the project quickly gained favor. By 1997, LTA volunteers had paved over

four miles of the trail and established a major trailhead on Cherry Bend Road. TART Trails, Inc. took over the administration of the Leelanau Trail in 1998, and by 2004, it was connected to the TART Trail, currently the two trails combine forming a continuous 27.5-mile route through Elmwood Township and Traverse City.<sup>15</sup> By 2014, the Leelanau Trail was a fully paved, 17-mile off-road connection between Traverse City and Suttons Bay, winding through picturesque farms, vineyards, forests, lakes, and ponds. It runs from Carter Road in Traverse City to Dumas Road in Suttons Bay, with notable trailheads at Cherry Bend Road and First and Cedar Streets in Suttons Bay. The trailhead at Fouch Road will also be undergoing improvements, including additional parking and trailside amenities in late 2024 into 2025.

The trail's popularity is evident; attracting riders who can park their bikes in Suttons Bay and enjoy local restaurants before taking the bus back to Traverse City. The Leelanau Trail is the only trail within the TART Trails network entirely owned and operated by TART Trails, Inc., maintained year-round by dedicated volunteers. In the winter, it is groomed for skiing, fat tire biking, and snowshoeing, with a section running through the DeYoung Natural Area. The trail offers accessible features like a lakeside fishing platform on Cedar Lake and enchanting walks through hardwood conifer swamps. With four major trailheads along its route, the Leelanau Trail continues to provide a world-class experience for its more than 60,000 annual users,<sup>16</sup> while the entire TART trail system provides enjoyment through recreation and transportation to well over 1 million annual users.<sup>17</sup>

## AIR TRAVEL

Cherry Capital Airport (TVC) is situated at 727 Fly Don't Drive, along South Airport Road in nearby Traverse City. It operates under the Northwest Regional Airport Authority, an independent body distinct from other local government units of which Leelanau County is a member. In 2022, the airport provided more than 582,000 flights to passengers comprised of locals, tourists, and employees alike.<sup>18</sup> Currently, Cherry Capital Airport is undergoing expansion. In October 2021, plans were approved to increase parking capacity by adding a new section, resulting in 424 new parking spaces, a 43% increase to the 1,000-car lot in Traverse City's long-term parking capacity. The expansion also includes a new electric vehicle (EV) charging station, underground stormwater retention systems, and routine maintenance on the existing lot. Additionally, Cherry Capital plans to expand the airport terminal, featuring a 15-jet-bridge design with three terminal concourses, each containing five jet bridges. Construction for the terminal expansion is expected to begin in 2025, with an estimated cost of \$120 million.<sup>19</sup> In July 2024, TCV served 124,000 passengers the most in any single month in airport history, with October 2024 projections expecting an overall increase of 11% in total passengers from 2023.<sup>20</sup>

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<sup>15</sup> Michigan Trail Maps, Leelanau Trail, [www.michigantrailmaps.com/member-detail/leelanau-trail/](http://www.michigantrailmaps.com/member-detail/leelanau-trail/)

<sup>16</sup> Traverse Trails, Leelanau Trail, [traversetrails.org/trails/leelanau-trail/](http://traversetrails.org/trails/leelanau-trail/)

<sup>17</sup> Traverse Area Recreation Trail, Chris Kushman, 10-15-2024.

<sup>18</sup> Cherry Capital Airport, 2023 Annual Report, 10-15-2024. [tvairport.com/wp-content/uploads/2023/10/2023-TVC-Annual-Report.pdf](http://tvairport.com/wp-content/uploads/2023/10/2023-TVC-Annual-Report.pdf)

<sup>19</sup> Airport Improvement, Cherry Capital Airport, 7-2-2024, [airportimprovement.com/article/cherry-capital-airport](http://airportimprovement.com/article/cherry-capital-airport)

<sup>20</sup> Craig Manning, What's Driving The Growth At Cherry Capital Airport? Hint: It's Not Tourists, 11-4-2024,

[www.traverseticker.com/news/whats-driving-all-the-growth-at-cherry-capital-airport/#:~:text=%E2%80%9CIt's%20the%20local%20community%2C%E2%80%9D,here%20have%20grown%20almost%20threefold](http://www.traverseticker.com/news/whats-driving-all-the-growth-at-cherry-capital-airport/#:~:text=%E2%80%9CIt's%20the%20local%20community%2C%E2%80%9D,here%20have%20grown%20almost%20threefold)

As of 2023, the airport provides services through five airlines: American Airlines, Delta Air Lines, United Airlines, Allegiant Air, Avelo Airlines, and Sun Country Airlines. These airlines offer 17 nonstop flights to various U.S. cities including New York, Chicago, Detroit, Washinton DC, Minneapolis, Philadelphia, Phoenix, Boston, Dallas-Fort Worth, and Charlotte, and others with most flights available seasonally.<sup>21</sup>

## **PUBLIC TRANSPORTATION**

### **Bay Area Transit Authority (BATA)**

Figure XX: BATA Service Routes Map, 2022

# DRAFT

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<sup>21</sup> Cherry Capital Airport, 2023 Annual Report, 10-15-2024. <https://tvcairport.com/wp-content/uploads/2023/10/2023-TVC-Annual-Report.pdf>



Source: BATA

The Bay Area Transportation Authority (BATA) serves Grand Traverse County and Leelanau County as the regional public transit authority. BATA's mission is to provide safe, efficient, and reliable transportation services throughout the region. While BATA routes are centered in urban areas, the authority extends its services into some of the lower populated areas of Leelanau and Grand Traverse County, to provide more access for the region to areas with more amenities. Organized with leadership, dispatch, ticketing, mechanics, and drivers, BATA operates under a board of directors and a local advisory council. The board comprises seven elected and volunteer

representatives from both counties, while the advisory council includes 11 community members representing local organizations.<sup>22</sup>

In 2022, BATA recorded a ridership of 281,260 passengers, with 11% being elderly and 16% disabled. This marks a decrease from 402,947 riders in 2020, largely due to a shortage of drivers rather than reduced demand following the COVID-19 pandemic.<sup>23</sup> BATA's flagship service is the Bayline, a frequent free route along the Parkway linking the Meijer in Garfield Township to an East Bay Township park-and-ride, running every 18 minutes. Recent enhancements include the installation of GPS devices on buses for real-time arrival updates.<sup>24</sup> The changes in ridership from pre to post-COVID can be seen in Table XX, newer data for BATA ridership was not readily available in detail at the time of writing.

**Table XX: Average Daily Ridership, 2019-2021**

	Fall 2019			Fall 2021			% Change		
	Weekday	Saturday	Sunday	Weekday	Saturday	Sunday	Weekday	Saturday	Sunday
Bayline	728	553	409	384	296	224	-47%	-47%	-45%
City Loops	685	374	246	325	173	139	-53%	-54%	-44%
Village Loops	327	253	181	142	175	151	-57%	-31%	-16%
Flex Loops (16&31)	86	-	-	71	-	-	-17%	-	-
<b>Total Count for Fixed Routes</b>	<b>1,826</b>	<b>1,069</b>	<b>836</b>	<b>925</b>	<b>644</b>	<b>514</b>	<b>-49%</b>	<b>-40%</b>	<b>-39%</b>

Source: BATA

Route 10 of the BATA runs from Traverse City to Suttons Bay through Elmwood Township with multiple stops along the route (see Figure XX for service map in 2022). At the current time there are no other planned routes for Elmwood Township, though M-22 construction in 2025 maybe cause the schedule to alter somewhat. Route 11 of BATA runs from Traverse City to Glen Arbor and briefly crosses through the southwest portion of Elmwood Township though there are no stops scheduled in the Township.<sup>25</sup>

### *Future Planning for BATA*

Recognizing the importance of planning, with consultants, in October 2022 BATA developed the *BATA Next Wave* which is a Transit Master Plan (TMP) intended to serve as the guiding for BATA's

<sup>22</sup> Bay Area Transit Authority, About Us, [www.bata.net/about-us/mission-vision-values.html](http://www.bata.net/about-us/mission-vision-values.html)

<sup>23</sup> Bay Area Transit Authority, Performance Dashboard, [www.bata.net/news/performance-dashboard.html](http://www.bata.net/news/performance-dashboard.html)

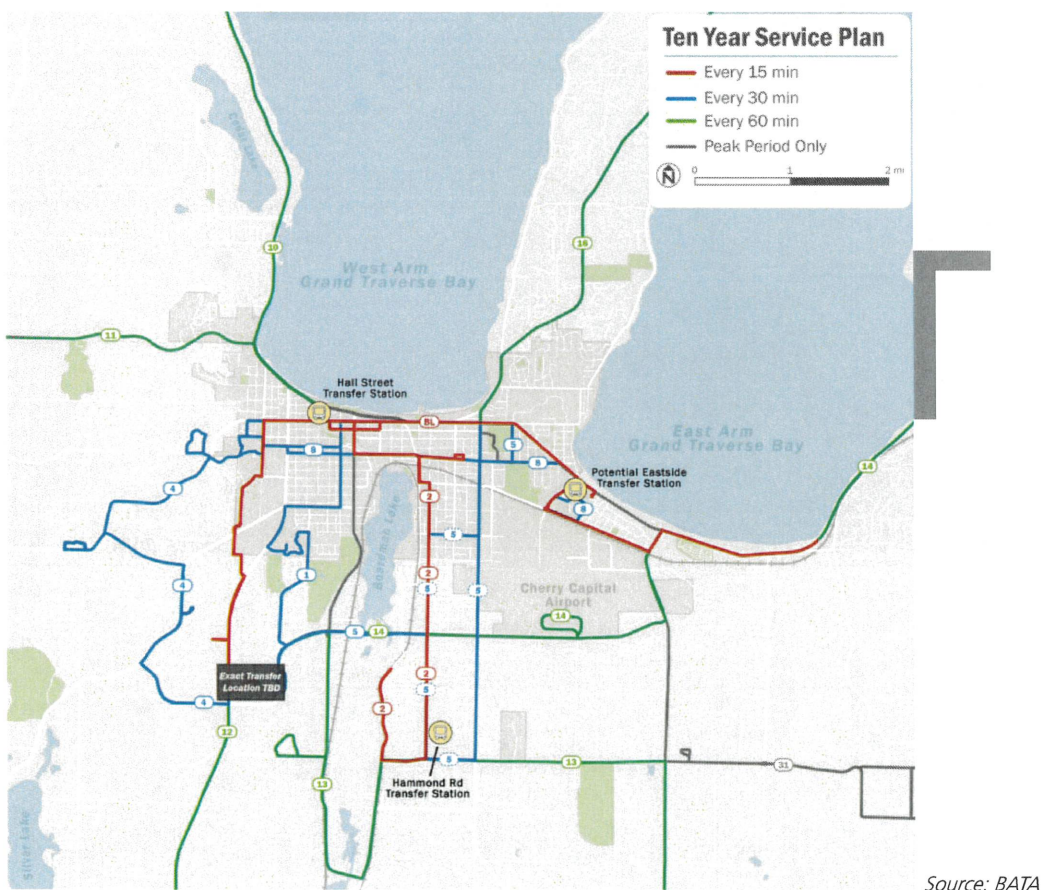
<sup>24</sup> Bay Area Transit Authority, Performance Dashboard, [www.bata.net/news/performance-dashboard.html](http://www.bata.net/news/performance-dashboard.html)

<sup>25</sup> Bay Area Transit Authority, Village Loop – Grand Traverse and Leelanau Counties, 10-15-2024, [www.bata.net/maps-schedules/village-loops.html](http://www.bata.net/maps-schedules/village-loops.html)

priorities for 5-10 years.<sup>26</sup> This TMP includes an emphasis on improved bus frequency, extended service hours, and expanded service areas. This plan aims to enhance connectivity within Traverse City, improve rural access, and ensure financial sustainability. BATA's funding for these improvements includes voter-approved millages in Leelanau and Grand Traverse County.<sup>27</sup>

During the public input process of the creation of *BATA Next Wave* needs highlighted that for the service to be effective, expanded routes and increased frequency were needed, including Routes 4, 5, and 11, that were eliminated during COVID should return. The community also stated a desire for more information to be communicated to raise awareness about BATA services.<sup>28</sup> The plan outlined several changes and improvements to be made including connecting Village loop routes with the Bayline and City Loops to provide more connections for riders, and extending many routes, Figure XX and XX outlines these routes as they are planned to run after the plan is achieved.<sup>29</sup>

Figure XX: 10 Year Service Plan, City Loop



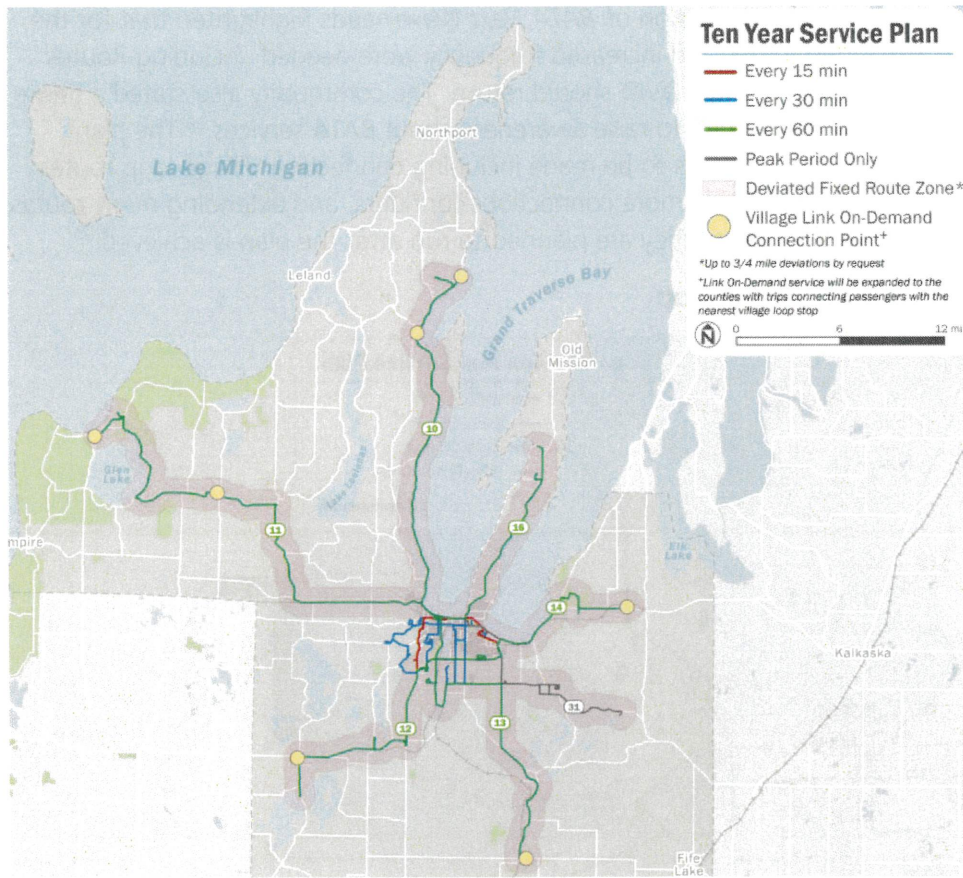
<sup>26</sup> Bay Area Transit Authority, Transit Master Plan, 11-4-2024, [www.bata.net/news/transit-master-plan.html](http://www.bata.net/news/transit-master-plan.html)

<sup>27</sup> Ibid.

<sup>28</sup> Bay Area Transit Authority, Transit Master Plan, 11-4-2024, [www.bata.net/news/transit-master-plan.html](http://www.bata.net/news/transit-master-plan.html)

<sup>29</sup> Ibid.

Figure XX: 10 Year Service Plan, Village Loop



Source: BATA



## COMPLETE STREETS

Figure XX: Rendering of Complete Streets in a Small Community



Source: Smart Growth America

Complete Streets is the idea that streets should be designed to serve all modes of transportation. Rather than simply prioritizing roads to only serve automobiles, complete streets also serve bicyclists, pedestrians, and transit. Complete Streets can be implemented while still preserving the character of the community. The report "Implementing Complete Streets in Small Towns and Rural Communities," published by Smart Growth American in 2017, recommends rural places enact policies related to creating and maintaining Complete Streets to accommodate a range of demographic groups, specifically the young and the elderly.<sup>30</sup> Elmwood Township has acknowledged the importance of Complete Streets, including its adoption of a Complete Streets resolution on September 11, 2023.

## COMMUNITY INPUT REGARDING TRANSPORTATION

Below are key findings related to transportation from this survey. More detail on this can be found in the Community Survey Summary.

- Commute Distances:
  - Approximately two-thirds commute fewer than 10 miles.
- Daily Transportation Modes:
  - 96.5% travel by car alone.

<sup>30</sup> N. Azeez, Smart Growth America, 3-14-2024. [smartgrowthamerica.org/implementing-complete-streets-small-towns-rural-communities/](https://smartgrowthamerica.org/implementing-complete-streets-small-towns-rural-communities/)

- Other popular transportation modes include bicycling (39.4%), walking (33%), and carpooling (16.3%).
- Public transport usage is low (1.4% for bus, 1.8% for ridesharing).
- Ideal Transportation Preferences:
  - Respondents expressed interest in bus services as a transportation option if service routes were expanded, both by location and stop times.
- Infrastructure Priorities:
  - A high percentage of respondents stated that they think that infrastructure for walking and bicycling should be improved and expanded so that they can be used more.

These findings indicate a community preference for sustainable and active transportation options over conventional car use and ride-sharing services.

## KEY TAKEAWAYS AND SUGGESTIONS

- Many workforce commutes in Elmwood are short (less than 10 miles) and most drive by themselves, improving other modes of transportation would likely encourage some residents to move away from the automobile for these shorter commutes.
- Implementing policies related to complete streets will also encourage residents to rely less on automobile transportation as accessibility and safety improvements will follow these implementations.
- While there are current plans for BATA service expansions, these expansions should be carefully considered to ensure they benefit Elmwood residents as better service and expanded routes are a community desire.
- Road quality rating from PASER indicates that roads in the Southeast Portion of the Township are most in need of maintenance and repair. These roads see the most traffic so preventative maintenance is crucial to ensure expensive work like road replacement is not needed.
- While a low percentage of accidents involved bicyclists and pedestrians, nonmotorized routes should be expanded for greater safety and accessibility. These expansions were heavily desired by the public.

# Community Facilities

Community facilities and public services are crucial for the well-being and operation of a community. Community buildings serve as venues for social gatherings, emergency services, and landmarks for residents. Essential municipal services include water and wastewater management, and emergency services, all vital for the functioning of Elmwood Township. This section of the plan details the current community facilities and services available.

## TOWNSHIP HALL



*Elmwood Township Hall Source: Leelanau.gov, Sarah Clarren*

Located at 10090 E Lincoln Road, the Township Hall serves as the administrative center for the township. It contains the offices of the township supervisor, planning and zoning department, assessing department, treasurer, and clerk. The Township Hall is also the location for township meetings, including those of the township board, planning commission, and various other boards and committees.

## LEELANAU COUNTY SHERIFF'S OFFICE

Police services for Elmwood Township are provided by the Leelanau County Sheriff's Office, a goal-oriented, innovative, and progressive law enforcement agency dedicated to meeting the community's needs.<sup>1</sup> Situated in the northwestern section of Michigan's Lower Peninsula, Leelanau County, known as the "Little Finger of Michigan," is surrounded by 100 miles of Lake Michigan shoreline, includes four islands, covers 341 square miles of surface area, has 28 square miles of inland lakes, and 40% of its wooded land contributes to its picturesque and hilly terrain. This diverse geography presents unique public safety challenges, particularly given the county's

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<sup>1</sup> Leelanau County, Sheriff, 7-3-2024. [www.leelanau.gov/sheriff.asp](http://www.leelanau.gov/sheriff.asp)

reputation as a tourist destination. The Sheriff's Office collaborates closely with Grand Traverse Band Tribal Police, National Park Rangers, Michigan State Police, Department of Natural Resources (DNR) Conservation Officers, and the U.S. Coast Guard to address the safety needs of both residents and visitors.<sup>2</sup>

## FIRE AND RESCUE



*Elmwood Township Hall Source: Leelanau.gov, Sarah Clarren*

The Elmwood Fire Department, located immediately adjacent to Township Hall at 10086 E Lincoln Road, was constructed in 2001 and in 2024, there were 16 staff members, though the number fluctuates. The department operates a fleet of seven vehicles, which includes one engine, one engine/tanker, one tanker, one brush/mini-pumper, one ambulance, one rescue boat, and one ATV.<sup>3</sup> In 2019, the department received a \$250,000 FEMA grant to purchase a new fire truck, replacing an older unit that had been in service for over 40 years. Notably, the Township is considering an upgrade from Basic Life Support (BLS) services to Advanced Life Support (ALS).<sup>4</sup>

## PARKS AND RECREATION

Parks and natural areas are essential for land preservation as they play a vital role in various environmental, health, and economic development as outdoor recreation in Michigan significantly contributes to the economy.<sup>5</sup> These spaces also contribute to maintaining healthy ecosystems, ensuring the availability of clean air and water while conserving natural resources and linking wildlife habitats. They provide protected areas for animal species to find food, raise their young, and rest, thereby aiding in the conservation of biodiversity. Additionally, they improve public health by enhancing air quality, reducing noise pollution, and lowering the risk of flooding. Economically, parks attract tourists, boosting local economies by encouraging tourism and supporting local businesses. Furthermore, properties located near parks tend to have higher values compared to those situated farther away, making parks an asset for communities.<sup>6</sup>

Residents of Elmwood and surrounding areas within the region have great appreciation for these facilities in the Township. Countless time during the public input process of this master plan the value of the Leelanau Trail, specifically the Leelanau Trail, Greilickville Harbor Park, and the natural areas throughout were mentioned as being of a high value to the public, and that the Township does great work in maintaining these facilities.

<sup>2</sup> Ibid.

<sup>3</sup> Elmwood Charter Township Fire Department, 10-14-2024.

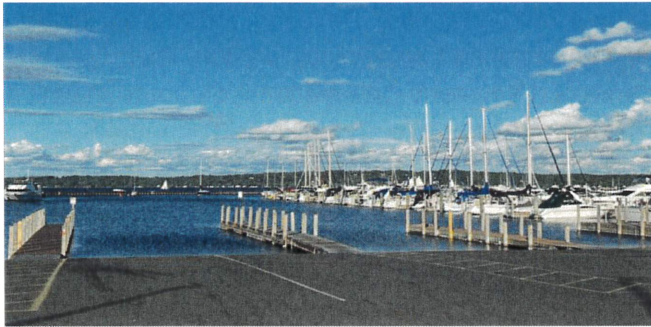
<sup>4</sup> Elmwood Charter Township, June 18, 2024 Township Board Meeting Minutes, 10-30-2024

<sup>5</sup> Michigan Economic Development Corporation, Focus Industry – Outdoor Recreation, 10-30-2024, [www.michiganbusiness.org/industries/outdoor-recreation/#:~:text=Michigan's%20Outdoor%20Recreation%20economy%20contributed,boating%2C%20RV%20and%20gear%20manufacturing.](http://www.michiganbusiness.org/industries/outdoor-recreation/#:~:text=Michigan's%20Outdoor%20Recreation%20economy%20contributed,boating%2C%20RV%20and%20gear%20manufacturing.)

<sup>6</sup> National Recreation and Park Association (NRPA), Role of Parks and Recreation in Conservation, 10-7-2024, nrpa.org

Elmwood Township does not have a Parks and Recreation Department; however, they do have a Parks and Recreation Committee that meets as needed, and a seasonal grounds crew maintains the parks. The Township has an adopted 5 Year Park and Recreation Plan that details the future development of the park system in the community, more details about the park system can be found in this plan.

## Township Marina and Greilickville Harbor Park



*Township Marina Source: Leelanau.gov*

Currently there are three docks that have 171 slips in the marina. Twenty-one are for transient uses and the remaining are for seasonal lease. On land the marina property has seen many improvements to the site including a new harbormaster building, public restrooms, boats lounge and restrooms as well as a fish cleaning

station. This has been a multiyear project that was partially funding with Michigan DNR Waterways Program grants. Adjacent to the marina is the Greilickville Harbor Park, which is a picturesque three-acre park and public beach located on West Grand Traverse Bay/Lake Michigan. It features two pavilions: the Brewery Creek Pavilion, which can be reserved and includes universal access picnic tables, family-style restrooms, a drinking fountain, charcoal grills, and bike racks, and the Hawley Creek Pavilion, available on a first-come, first-serve basis with similar amenities.<sup>7</sup>



*Greilickville Harbor Park Source: GoslingCzubak.com*

The park offers 30 paved parking spaces, a concrete promenade, wood boardwalk and deck, a wood overlook pier, lighting, outdoor chess and checkers game tables, park benches, a play structure, a beach, beach volleyball, a swing set, creek pedestrian bridges, coastal wetland areas, bioswales, rain gardens, and native dune grass. It is well-suited for walkers and runners, with essential amenities like parking, restrooms, and drinking water, making it accessible for people of all abilities. Visitors can enjoy various outdoor activities and recreational sports, with the best walking conditions typically found from late spring to early fall when the weather is mild, and the park is

<sup>7</sup> Pure Michigan Byway, Greilickville Harbor Park, 7-3-2024. [www.m22byway.org/place.asp?ait=av&aid=142](http://www.m22byway.org/place.asp?ait=av&aid=142)

lush with greenery. Wildlife such as squirrels, birds, and the occasional deer can be encountered.<sup>8</sup> It is important that this harbor remains attractive for recreation as it provides significant economic and cultural benefits to that area.

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The DeYoung Natural Area, encompassing 191 acres over two parcels, combines a historic farmstead with a mile of Cedar Lake shoreline and extends west of Cherry Bend Road. The farm, dating back to the 1860s, was owned by Louis DeYoung, an innovative farmer who modernized it with a machine shop and early adoption of tractor-powered farming. DeYoung and his son sought to preserve the land, leading to its acquisition by the Leelanau Conservancy in 2008. The conservancy partnered with Eastern Michigan University's Historic Preservation Program to maintain the structures and develop interpretive areas. The area features over two miles of hiking trails, including a Universal Access trail leading to a lakeside fishing pier and viewing platform on Cedar Lake, an edible trail, a connection to the TART Trail, and a 1.5-mile upland trail winding through the historic farmstead, hardwood forests, and meadows. The DeYoung Natural Area, preserved with Elmwood Township, serves as a gateway to Leelanau County's agricultural corridor and offers a blend of sustainable farming and outdoor recreation.<sup>11</sup>

## Cherry Bend Community Park



Cherry Bend Community Park Sign Source:  
Leelanau.gov

Cherry Bend Community Park, located at the corner of East Lincoln and East Cherry Bend Roads next to the Township Hall. In total, this area contains a 14.5-acre recreation complex offering a wide array of amenities. The park features a larger pavilion that can be rented, two restroom facilities, paved parking, and a

paved trails. It includes a soccer field, play structure, swings, grills, horseshoe pit, two baseball diamonds, and a Little League Premiere field with block masonry dugouts and scorer's and maintenance equipment buildings. Additionally, there is a T-ball diamond, tennis courts with a pickleball court, a basketball court, a sand volleyball court, and shade trees, making it a versatile space for various recreational activities.<sup>12</sup> In 2024, the Township has prepared a conceptual site plan for the park to include multiple designated pickleball courts, extending the existing trail, the creation of a trail, and for additional parking based on feedback received for the 5-Year Park and Recreation Plan.

<sup>8</sup> Pacer, Greilickville Harbor Park, 7-3-2024, [www.mypacer.com/parks/251077/greilickville-harbor-park-traverse-city](http://www.mypacer.com/parks/251077/greilickville-harbor-park-traverse-city)

<sup>11</sup> Michigan Trail Maps, DeYoung Natural Area, 7-2-2024, [www.michigantrailmaps.com/member-detail/deyoung-natural-area/](http://www.michigantrailmaps.com/member-detail/deyoung-natural-area/)

<sup>12</sup> Pure Michigan Byway, Cherry Bend Community Park, 7-2-2024. [www.m22byway.org/place.asp?ait=av&aid=136](http://www.m22byway.org/place.asp?ait=av&aid=136)

## Brewery Creek Natural Area



Source: Leelanau Conservancy

This site, located across M-22 from the Elmwood Township Marina and Greilickville Harbor Park, and is being utilized as overflow parking for the marina. Additionally, the western portion of the site that connects to the TART Trail includes a Conservation Easement. The Township plans to explore the creation of a built connection and has discussed the possibility of adding parking and restroom facilities. Improvements in this area must be carefully assessed to minimize

environmental impacts, given the presence of wetlands. Other potential developments may include educational trails and signage, walking trail connectors, a pavilion, bike lockers, and native pollinator gardens.<sup>13</sup>

## Leelanau and TART Trails

The Leelanau Trail in Elmwood County, part of the larger Traverse Area Recreation and Transportation (TART) System, is a non-motorized recreation and transportation trail that extends throughout Leelanau County. This section of the TART Trail offers a 15-mile connection between Suttons Bay and Traverse City, providing non-motorized access throughout Elmwood Township. The Cherry Bend Trail Head serves as a key access point, featuring parking, signage, and a portable restroom facility available during the warmer months.<sup>14</sup> A second trailhead is located at Fouch Road and in 2025, improvements will be made, including additional parking, trailside amenities, and a restroom. Additional details regarding the TART Trail can be found in the transportation section of the plan.

## Michigan Department of Natural Resources (MDNR) Cedar Lake Boat Launch

The MDNR boat launch is situated at the southern end of Cedar Lake and serves as the sole public launch to the lake. It features a boat ramp and dock, along with limited car-trailer parking. A portable restroom facility is also available on-site. A Recreation Passport is required for use, and parking on the grass is prohibited.<sup>15</sup>

## Michigan Department of Transportation (MDOT) Roadside Parks

MDOT maintains two roadside parks along M-22, a scenic state road that runs alongside West Grand Traverse Bay. Although these parks are not well marked, they offer parking, limited picnic facilities, and stunning views of the bay. While the beach area is small, a set of stairs provides access to the water.<sup>16</sup>

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<sup>13</sup> Elmwood Township, 2023 Community Park, Recreation, Open Space and Greenways Plan, 10-14-2024, [www.leelanau.gov/downloads/parkspdf.pdf](http://www.leelanau.gov/downloads/parkspdf.pdf)

<sup>14</sup> Ibid.

<sup>15</sup> Elmwood Township, 2023 Community Park, Recreation, Open Space and Greenways Plan, 10-14-2024, [www.leelanau.gov/downloads/parkspdf.pdf](http://www.leelanau.gov/downloads/parkspdf.pdf)

<sup>16</sup> Elmwood Township, 2023 Community Park, Recreation, Open Space and Greenways Plan, 10-14-2024, [www.leelanau.gov/downloads/parkspdf.pdf](http://www.leelanau.gov/downloads/parkspdf.pdf)

## Grand Traverse Regional Arts Campus (GTRAC)/ Marina Overflow Parking

The Grand Traverse Regional Arts Campus (GTRAC), formerly known as Norris Elementary School/Grand Traverse Overall Supply, offers indoor space for creative arts groups to perform in studio or classroom settings. This non-profit property includes ample outdoor open space and parking areas, as well as existing trails that may be further developed in the future. Located just 0.3 miles from the Elmwood Township Marina, GTRAC has been used as overflow parking during Cherry Festival Week.<sup>17</sup>

## Discovery Center & Pier

The mission of the Discovery Center is to connect individuals of all ages, needs, and abilities to the Great Lakes through recreation, education, science, history, and stewardship. Historically, the center has provided space for water-related non-profits to operate and offer programming on its main campus west of M-22 and at the Discovery Pier. In recent years, the Discovery Center has expanded its role to actively engage with the community, fostering partnerships with various organizations to create recreational and educational opportunities for all, particularly underprivileged youth.<sup>18</sup>



*Source: Traverse City Tourism*

The center collaborates with a growing list of partners, including the Inland Seas Education Association, Maritime Heritage Alliance, Northwestern Michigan College, Great Lakes Navigation Company, The Great Lakes Children's Museum, The Watershed Center, Traverse Tall Ship Company, Fish-X-TC, and Compass Rose Sailing Company. Recognizing the inequitable access to the Great Lakes, the

Discovery Center aims to create an inclusive environment where everyone can enjoy educational and recreational activities, regardless of financial means or physical ability. It offers free programs and recreational opportunities for underprivileged youth, introducing them to various aspects of the Great Lakes through fun, engaging experiences. Many participants leave inspired, and the Discovery Center helps guide them into programs offered by its non-profit partners, including wooden boat building, navigation, and marine technology.<sup>19</sup>

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<sup>17</sup> Ibid.

<sup>18</sup> Ibid.

<sup>19</sup> Ibid.



## EDUCATION

### The Pathfinder School



Source: *The Pathfinder School*

Located at 11930 S W Bay Shore Drive on a 22- acres campus, The Pathfinder School is the only school remaining within Elmwood Township. It was founded in 1972 by Arthur and Nancy Baxter with a commitment from teachers from the Interlochen Center of the Arts, The Leelanau School, and Traverse City Public Schools, is a beacon of quality education located on a historic estate with wooded grounds and lakeside access to Cedar Lake.<sup>20</sup> The curriculum is built on experiential education principles, attracting families nationwide and promoting diversity and civility it offers ample opportunities for parental involvement through an active parents' association and community-building activities.<sup>21</sup>

### Traverse City Area Public Schools

A large portion of the Township is served by Traverse City Area Public Schools (TCAPS). The district is comprised of 17 schools serving almost 9,000 students. Willow Hill Elementary, Traverse City West Middle, and Traverse City West High Schools serving Elmwood Township.<sup>22</sup>

### Suttons Bay Public Schools

The Northeast portion of the Township is served by Suttons Bay Public Schools. Suttons Bay offer a wide range of quality extracurricular programs for students at all grade levels, serving a total of almost 600 students in person and virtually.<sup>23</sup>

## MEDICAL FACILITIES

### Cherry Bend Family Care

Located at 10223 East Cherry Bend Road, Cherry Bend Family Care is the sole medical facility in Elmwood Township. Cherry Bend Family Care, PLC is a primary care facility dedicated to providing high-quality healthcare to families.<sup>24</sup>

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<sup>20</sup> The Pathfinder School, Our Story, 10-30-2024, [www.thepathfinderschool.org/thepathfinderstory](http://www.thepathfinderschool.org/thepathfinderstory)

<sup>21</sup> Ibid.

<sup>22</sup> TCAPS, About, 10-30-2024, [www.tcaps.net/about/district-boundary-map/](http://www.tcaps.net/about/district-boundary-map/)

<sup>23</sup> Suttons Bay Public Schools, District Information, 7-3-2024, [suttonsbayschools.com](http://suttonsbayschools.com)

<sup>24</sup> Cherry Bend Family Care, LLC., 10-30-2024, [www.cherrybendfamilycare.com/](http://www.cherrybendfamilycare.com/)

## UTILITIES

### Electricity

Elmwood Township's Electricity is provided by Consumer's Energy and Cherryland Electric Cooperative, a user owner service with 36,000 members across six northern Michigan Counties.<sup>25</sup>

### Gas

Natural gas is provided a majority of the Township DTE Energy. Where natural gas is not provided, homeowners must rely on propane or fuel oil to provide gas services.

### Water and Sewage (map to be added)

Water and Sewage infrastructure is owned by Elmwood Township, while it is managed and serviced through an agreement with Grand Traverse County Department of Public Works.

### Internet and Cellular Service (map to be added)

Cellular service availability greatly varies in Leelanau County with locations that have no service, which is unfortunately an issue that is not uncommon throughout the region.<sup>26</sup> Broadband internet access is not available to all properties and only slower speeds (less than 25 Mbps download/ 3 Mbps upload) are available to some that do have access, meaning that they are still underserved.<sup>27</sup> In March of 2024, the Federal Communications Commission (FCC) updated the standard for broadband internet speed nationwide to download speeds of 100 megabits per second and upload speeds of 20 megabits per second a four-fold increase from the 25/3 Mbps benchmark set by the Commission in 2015.<sup>28</sup> This should be noted for Elmwood as internet service relied on heavily as the world continues to shift to a higher reliance on technology, and some of the Township is not meeting the standard.

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<sup>25</sup> Cherryland Electric Cooperative, About, 7-3-2024, [cherrylandelectric.coop/about/](http://cherrylandelectric.coop/about/)

<sup>26</sup> Connected Nation, The Michigan Broadband Map, 10-14-2024, [gis.connectednation.org/](http://gis.connectednation.org/)

<sup>27</sup> Ibid.

<sup>28</sup> Federal Communications Commission, FCC Increases Broadband Speed Benchmark, 10-14-2024, [docs.fcc.gov/public/attachments/DOC-401205A1.pdf](https://docs.fcc.gov/public/attachments/DOC-401205A1.pdf)