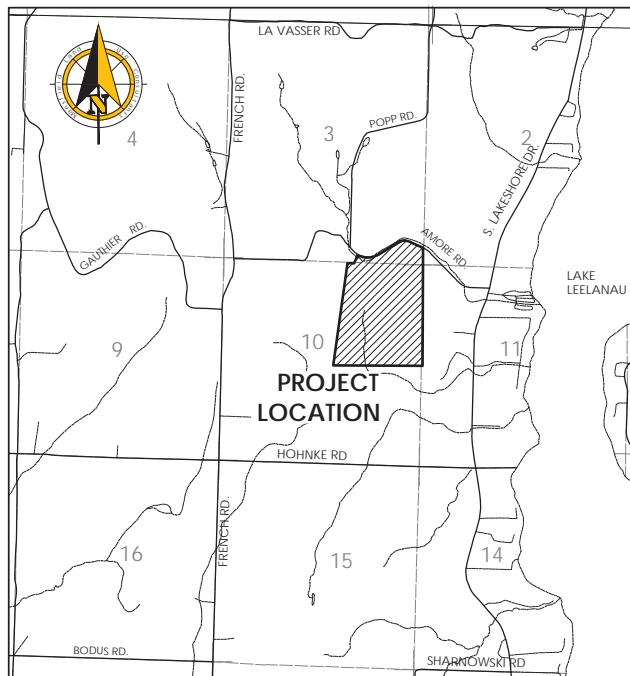


MICHIGAN LOCATION MAP

VICINITY MAP



**PUBLIC AGENCIES AND UTILITIES**

**CHERRYLAND ELECTRIC COOPERATIVE (ELEC.)**

Engineer: Scott Kissau  
 Address: 5930 US-31 S., Traverse City, MI 49684  
 Telephone: 231-492-3480

**CONSUMERS ENERGY (ELEC.)**

Engineer: Chuck Walkon  
 Address: 821 Hastings St., Traverse City, MI 49686  
 Telephone: 231-929-6228

**DTE ENERGY (GAS)**

Manager: Sandra O'Neil  
 Address: 700 Hammond Rd., Ste. 2, Traverse City, MI 49686  
 Telephone: 231-932-2829

**LEELANAU COUNTY ROAD COMMISSION**

Engineer: Craig Brown  
 Address: 10550 E. Eckerle Road, Suttons Bay, MI 49682  
 Telephone: 231-271-3993

**LEELANAU COUNTY DRAIN COMMISSION**

Drain Commissioner: Steve Christensen  
 Address: 8527 E. Government Center Dr., Suttons Bay, MI 49682  
 Telephone: 231-256-9783

**CHARTER COMMUNICATIONS (T.V.)**

Manager: Rob Nowak  
 Address: 701 S. Airport Rd., Traverse City, MI 49686  
 Telephone: 231-941-3766

**POLICE AGENCIES**

EMERGENCIES: 911  
 Michigan State Police: 231-946-4646  
 Leelanau Co. Sheriff: 231-256-8800

**FIRE DEPARTMENTS**

EMERGENCIES: 911  
 Cedar Area Fire & Rescue Dept.:  
 Fire Chief: Andy Doornbos  
 Address: 8907 Railroad Ave, Cedar, MI 49621  
 Telephone: 231-228-5396

**STANDARD PLAN LEGEND**

DESCRIPTION	EXISTING	PROPOSED
GROUND CONTOUR	605	613
SPOT ELEVATION	613.2	613.50
CONTOUR FROM USGS TOPOGRAPHIC MAP		
TOP OF CURB ELEVATION	613.5	613.50
PAVEMENT (OR GUTTER FLOW LINE) ELEVATION	613.0	613.00
DIRECTION OF SURFACE FLOW		←
DRAINAGE HIGH POINT		HP.
DRAINAGE LOW POINT		LP.
WATER MAIN	—	—
WATER MAIN LEAD		W — W
SANITARY FORCE MAIN	—	—
SANITARY SEWER	—	—
SANITARY SEWER LEAD	—	—
STORM SEWER	—	—
GAS MAIN	—	—
OVERHEAD ELECTRIC	—	—
PROPERTY LINE	—	—
TREE LINE	~	~
PINE LINE	~	~
EDGE OF WETLAND	—	—
EDGE OF WATER	—	—
C/L OR DRAINAGE DITCH OR WATER LINE	—	—
SILT FENCE	—	—
DETENTION BASIN BERM	—	—
MANHOLE (MH)	○	●
CATCH BASIN (CB)	⊗	⊗
CLEAN OUT (CO)	○	○
PUMP STATION (PS)	○	○
RISER	⊗	⊗
GATE VALVE	⊕	⊕
FIRE HYDRANT ASSEMBLY	⊕	⊕
YARD HYDRANT	⊕	⊕
CURB STOP & BOX	⊕	⊕
POLE, POWER OR ELECTRIC	⊕	⊕
LIGHT POLE	⊕	⊕
SIGN	⊕	⊕
BENCH MARK (BM)	⊕	⊕
U/G UTILITY SIGN	⊕	⊕
GUY ANCHOR	↓	↓
SOIL EROSION CONTROL MEASURE (MICHIGAN UNIFIED KEYING SYSTEM) P-PERMANENT T-TEMPORARY	○	○
IRON FOUND / IRON SET	●	○
CONCRETE MONUMENT	○	○
GOVERNMENT CORNER	⊕	⊕
NAIL FOUND / NAIL SET	▲	▲
RECORD / MEASURED	(R)	(M)
FENCE	—	—
WOOD STAKE	□	□

**PROJECT DATA:**

OWNER: THE GOODELL FAMILY  
 AMORITAS HOLDINGS, LLC  
 ADDRESS: 5882 AMORE ROAD  
 LAKE LEELANAU, MI 49683  
 CONTACT: EMILY GOODELL  
 PHONE: 313-590-0521  
 EMAIL: EMILY@AMORITASVINEYARDS.COM

DEVELOPER: UNDER CANVAS  
 ADDRESS: 211 YUKON LANE, BUILDING 3  
 BELGRADE, MT 59714  
 CONTACT: CAITLIN CULLEN  
 PHONE: 775-690-2230  
 EMAIL: CAITLIN.CULLEN@UNDERCANVAS.COM

**SITE DATA:**

LOCATION: E. AMORE ROAD  
 TAX ID: 45-002-003-017-00  
 ZONING DISTRICT: AG  
 SETBACKS: FRONT = 40'  
 SIDE = 10'  
 REAR = 15'

TAX DESCRIPTION: PRT SE 1/4 SEC 3 BEG AT SE SEC COR TH N 429 FT TO C/L CO RD TH ALG C/L N 68 DEG W 580.8 FT TH S 58 DEG W 858 FT TH N 87 DEG W 396 FT TH N 60 DEG W 48 FT TH S 22 DEG 34' 51" W 228.47 FT TH E 1813.23 FT M/L TO POB

LOCATION: 5882 E. AMORE ROAD  
 TAX ID: 45-002-010-001-00  
 ZONING DISTRICT: AG  
 SETBACKS: FRONT = 40'  
 SIDE = 10'  
 REAR = 15'

TAX DESCRIPTION: NE 1/4 EXC BEG NW COR NE 1/4 TH E 627 FT TH S 8 DEG W TO S LN NE 1/4 TH W 264 FT TO SW COR NE 1/4 TH N TO POB SEC. 10T29N R12W 133 A.

TOTAL PARCEL AREA: 148.73 ACRES GROSS  
 147.29 ACRES NET



**PLAN INDEX**

C1.0	COVER SHEET
C1.1	NOTES SHEET
C1.2	CIVIL DETAILS - SITE
C2.0	OVERALL EXISTING CONDITIONS PLAN
C2.1	DEMOLITION PLAN
C3.0	SOIL EROSION & SEDIMENTATION PLAN
C4.0	OVERALL SITE PLAN
C4.0(A)	OVERALL SITE PLAN KEY SHEET
C4.1	SITE & DIMENSION PLAN - ENTRANCE AREA
C4.2	SITE & DIMENSION PLAN - CORE AREA
C4.3	SITE & DIMENSION PLAN - WESTERLY TENT AREA
C4.4	SITE & DIMENSION PLAN - EASTERLY TENT AREA
C5.0	GRADING & STORM PLAN - ENTRANCE AREA
C5.0(A)	GRADING & STORM PLAN DETAIL - ENTRANCE AREA
C5.1	GRADING & STORM PLAN - CORE AREA
C5.2	GRADING & STORM PLAN - WESTERLY TENT AREA
C5.3	GRADING & STORM PLAN - EASTERLY TENT AREA
C6.0	UTILITY PLAN - CORE AREA
C6.1	UTILITY PLAN - WESTERLY TENT AREA
C6.2	UTILITY PLAN - EASTERLY TENT AREA

# AMORITAS - UNDER CANVAS

## A PROPOSED AGRICULTURAL TOURISM USE

Centerville Township, Leelanau County, Michigan

830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
 www.maaps.com  
 info@maaps.com

# Mansfield

Land Use Consultants

REV	DATE	DIS	BY	CHK	APP
001	10/11/2023	PHK	MMH	PHK	

Amoritas Holdings, LLC - Under Canvas  
 Proposed Agricultural Tourism Use  
 COVER SHEET

Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

PRELIMINARY

PHK

MMH

MMH

05.25.23

JOB NO: 23054

C1.0

**GENERAL CONSTRUCTION NOTES:**

**1. MISS DIG**

FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 811 or 1-800-482-7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

**2. EXISTING UTILITIES**

EXISTING PUBLIC UTILITIES AND UNDERGROUND STRUCTURES SUCH AS PIPE LINES, ELECTRIC CONDUITS, SEWERS AND WATER LINES, ARE SHOWN ON THE PLANS. THE INFORMATION SHOWN IS BELIEVED TO BE REASONABLY CORRECT AND COMPLETE. HOWEVER, NEITHER THE CORRECTNESS NOR THE COMPLETENESS OF SUCH INFORMATION IS GUARANTEED. PRIOR TO THE START OF ANY OPERATIONS IN THE VICINITY OF ANY UTILITIES, THE CONTRACTOR SHALL NOTIFY THE UTILITY COMPANIES AND "MISS DIG" AND REQUEST THAT THEY STAKE OUT THE LOCATIONS OF THE UTILITIES IN QUESTION. COST OF REPAIR FOR ANY DAMAGED UTILITY LINES THAT IS PROPERLY STAKED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

**3. PROTECTING UTILITIES**

SPECIAL CARE SHALL BE TAKEN IN EXCAVATING IN THE PROXIMITY OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL SECURE ASSISTANCE FROM THE APPROPRIATE UTILITY COMPANY IN LOCATING ITS LINES. THE CONTRACTOR SHALL ALSO PROVIDE SUPPORT FOR ANY UTILITY WITHIN THE EXCAVATION. PROVIDE PROPER COMPACTION UNDER ANY UNDERMINED UTILITY STRUCTURE AND, IF NECESSARY, INSTALL TEMPORARY SHEETING OR USE A TRENCH BOX TO MINIMIZE THE EXCAVATION. THE CONTRACTOR SHALL PROTECT AND SAVE HARMLESS FROM DAMAGE ALL UTILITIES, WHETHER PRIVATELY OR PUBLICLY OWNED, ABOVE OR BELOW GROUND SURFACE, WHICH MAY BE ENCOUNTERED DURING CONSTRUCTION, AT NO ADDITIONAL COST TO THE OWNER. THE CONTRACTOR SHALL PROVIDE ADEQUATE SUPPORT FOR UTILITY POLES AS NECESSARY.

**4. SAFETY**

THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE LAWS AND REGULATIONS GOVERNING THE FURNISHING AND USE OF SAFEGUARDS, SAFETY DEVICES AND PROTECTION EQUIPMENT. THE CONTRACTOR SHALL TAKE ANY NECESSARY PRECAUTIONS TO PROTECT THE LIFE AND HEALTH OF EMPLOYEES AND THE PUBLIC IN THE PERFORMANCE OF THE WORK.

**5. SOIL EROSION & SEDIMENTATION CONTROL**

THE CONTRACTOR SHALL PROVIDE TEMPORARY SOIL EROSION CONTROL MEASURES PER P.A. 451 AS AMENDED. THE SOIL EROSION MEASURES SHOWN ARE THE MINIMUM CONTROLS TO BE USED ON THIS PROJECT. THE CONTRACTOR SHALL INSTALL ADDITIONAL TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES TO PROTECT THE DISTURBED AREAS AND ADJACENT PROPERTIES FROM ACCELERATED EROSION AND SEDIMENTATION RESULTING FROM PROJECT CONSTRUCTION, IF DIRECTED BY THE ENGINEER OR SOIL EROSION CONTROL OFFICER, AT NO ADDITIONAL COST TO THE PROJECT. NO EXCAVATION WORK MAY PROCEED UNTIL THE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE. ALL WORK MUST BE IN ACCORDANCE WITH THE APPROVED PERMIT FROM THE GRAND TRAVERSE COUNTY SOIL EROSION AND SEDIMENTATION CONTROL OFFICE.

**6. PROPERTY CORNERS**

EXISTING KNOWN PROPERTY CORNERS ARE IDENTIFIED ON THE PLANS. IF A PROPERTY CORNER IS DISTURBED DURING CONSTRUCTION IT SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE BY A PROFESSIONAL LAND SURVEYOR.

**7. SURVEY DATUM**

ALL ELEVATIONS ARE BASED ON N.A.V.D., 1988, UNLESS OTHERWISE SPECIFIED.

**8. RESTORATION WORK**

ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED. MULCH BLANKET SHALL BE INSTALLED IN AREAS AS DESIGNATED AND SHALL BE INCIDENTAL TO OTHER ITEMS. ALL EXCESS TOPSOIL WILL REMAIN WITHIN THE PROPERTY OWNER'S AREA. THE CONTRACTOR SHALL REPAIR ALL WASHOUTS AND EROSION DURING THE GUARANTEE PERIOD OF ONE (1) YEAR AT NO ADDITIONAL COST TO THE OWNER.

**9. REMOVAL ITEMS**

THE CONTRACTOR SHALL RESTORE ALL LAWN, LANDSCAPE PLANTINGS, SIDEWALKS, COMMERCIAL SIGNS, ETC., AS REQUIRED, UNLESS SPECIFICALLY NOTED FOR REMOVAL ON THE PLANS. ALL SIDEWALKS, DRIVES, CULVERTS, DRAINAGE STRUCTURES, ABOVE GRADE UTILITIES, IRRIGATION SYSTEM, ETC. SHALL BE PROTECTED. ALL SUCH ITEMS DAMAGED OR DESTROYED DURING CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH NEW BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

**10. CONSTRUCTION SIGNAGE & TRAFFIC CONTROL**

LOCAL TRAFFIC AND CONSTRUCTION SIGNAGE SHALL BE MAINTAINED AT ALL TIMES TO THE SATISFACTION OF THE OWNER.

**11. DUST CONTROL**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTROLLING DUST ON THIS PROJECT THROUGH THE USE OF WATER TRUCKS OR DUST PALLIATIVE. PAYMENT FOR DUST CONTROL SHALL BE INCLUDED IN THE LUMP SUM CONTRACT AND SHALL NOT BE PAID SEPARATELY. DUST SHALL BE CONTINUOUSLY CONTROLLED TO THE SATISFACTION OF THE OWNER.

**12. PROTECTIVE FENCE**

THE CONTRACTOR IS RESPONSIBLE FOR ALL SITE SECURITY. THE CONTRACTOR SHALL PROVIDE, INSTALL AND MAINTAIN A TEMPORARY PROTECTIVE SNOW FENCE AROUND ALL OPEN TRENCH EXCAVATIONS THAT ARE LEFT OPEN OVERNIGHT OR ANY OTHER UNSAFE AREAS ON SITE THAT REQUIRE PUBLIC PROTECTION.

**13. EXCESS MATERIALS**

ALL EXCESS MATERIALS SHALL BE DISPOSED OF BY THE CONTRACTOR OFF OF THE SITE UNLESS OTHERWISE NOTED OR APPROVED BY THE OWNER. ALL REMOVALS AND TRANSPORTATION OF THE REMOVED MATERIALS SHALL BE DONE IN ACCORDANCE WITH THE SPECIFICATIONS AND ALL LOCAL, STATE AND FEDERAL LAWS.

**14. SAWCUTTING PAVEMENT**

SAWCUT EXISTING PAVEMENT FULL DEPTH TO THE LIMITS OF CONSTRUCTION OR AS DIRECTED BY THE ENGINEER. IF THE EDGE IS DAMAGED SUBSEQUENT TO SAWCUTTING, THE EDGE SHALL BE RECUT AT NO ADDITIONAL COST TO THE OWNER.

**15. DEWATERING**

ANY REQUIRED DEWATERING FOR SITE WORK, INCLUDING THE USE OF STONE OR GRAVEL FOR DEWATERING PURPOSES, WILL NOT BE PAID FOR SEPARATELY BUT SHALL BE INCLUDED IN THE LUMP SUM CONTRACT.

**16. UTILITY SEPARATION**

MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION BETWEEN ALL WATER MAINS AND SANITARY/STORM SEWERS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

**17. RECYCLING**

THE CONTRACTOR IS ENCOURAGED TO RECYCLE ANY MATERIALS OR PRODUCTS THAT ARE REUSABLE OR CAPABLE OF BEING RECYCLED.

**GENERAL GRADING CONSTRUCTION NOTES:**

**1. QUALITY OF WORK**

ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT LEELANAU COUNTY ROAD COMMISSION CONSTRUCTION STANDARDS AND SPECIFICATIONS.

**2. SUBGRADE PREPARATION**

THE PRESENCE OF OTHER THAN GRANULAR MATERIALS IN THE SUBGRADE SOIL SHALL REQUIRE A FULL WIDTH, TWELVE INCH, GRANULAR SUB-BASE, M.D.O.T. CLASS II OR EQUIVALENT. PREPARED SUBGRADE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND/OR TESTED PRIOR TO PLACEMENT OF GRAVEL.

**3. AGGREGATE BASE MATERIAL**

AGGREGATE BASE TO BE USED ON THE PROJECT MUST MEET SPECIFICATION FOR M.D.O.T. 22A AND MUST BE TESTED AND APPROVED PRIOR TO PLACEMENT. AGGREGATE BASE PLACEMENT MUST COMPLY WITH SECTION 3.01 OF THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. PREPARED AGGREGATE BASE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND TESTED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACE.

**4. BITUMINOUS PAVEMENT (HMA)**

THE CONTRACTOR SHALL GIVE THE OWNER'S REPRESENTATIVE 48 HOURS NOTICE PRIOR TO PLACEMENT OF BITUMINOUS SURFACE. BITUMINOUS PAVING MUST BE PERFORMED IN ACCORDANCE WITH THE CURRENT LEELANAU COUNTY ROAD COMMISSION STANDARD SPECIFICATIONS FOR CONSTRUCTION.

**5. REMOVAL OF ORGANICS**

ALL TREES, STUMPS, BRUSH AND ROOTS THEREOF, SHALL BE ENTIRELY REMOVED FROM WITHIN THE SITE GRADING.

**6. SITE GRADING**

ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED AS SOON AS FEASIBLE. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON ALL AREAS DISTURBED BY CONSTRUCTION.

**7. FIELD CHANGES**

ANY CHANGES IN SPECIFICATIONS OR CONSTRUCTION METHODS MUST BE REVIEWED AND APPROVED BY THE ENGINEER AND OWNER, AND MUST NOT CONFLICT WITH APPROVED PERMITS.

**8. DRAINAGE**

EXISTING STORM DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE, AS REQUIRED, ALL DRAINAGE CULVERTS OR STRUCTURES DAMAGED DURING CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. SEE THE PROPOSED GRADING PLAN FOR DETAILS ON CONSTRUCTION ITEMS.

**9. ADJUSTMENTS**

THE CONTRACTOR SHALL ADJUST ALL UTILITY SURFACE ITEMS TO THE FINISH GRADES PRIOR TO PAVING.

**GENERAL WATER MAIN CONSTRUCTION NOTES:**

**1. STANDARDS**

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS, SPECIFICATIONS AND DETAILS (2017 LEELANAU COUNTY HEALTH DEPARTMENT STANDARD TECHNICAL SPECIFICATIONS AND CONSTRUCTION DETAILS).

**2. DATUM**

ALL ELEVATIONS SHALL BE BASED ON USGS OR NAVD DATUM.

**3. DETAILS**

PIPE BEDDING, THRUST BLOCKS, HYDRANT, VALVES, VALVE MANHOLES, AND ALL APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.

**4. PUBLIC EASEMENTS**

EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY.

**5. WATER SERVICES**

THE DOMESTIC WATER MUST BE SEPARATE SERVICES TO EACH BUILDING.

**6. UTILITY SEPARATION**

ALL WATER MAINS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM SANITARY AND STORM SEWERS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

**GENERAL SANITARY SEWER CONSTRUCTION NOTES:**

**1. STANDARDS**

ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THE LEELANAU COUNTY CURRENT STANDARDS.

**2. CONNECTIONS**

NO CONNECTION RECEIVING STORM WATER OR GROUNDWATER SHALL BE MADE TO SANITARY SEWERS.

**3. DATUM**

ALL ELEVATIONS SHALL BE BASED ON USGS OR NAVD DATUM.

**4. DETAILS**

PIPE BEDDING, BUILDING SEWERS, DROP CONNECTIONS, BULKHEADS, MANHOLES, MANHOLE COVERS, AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS & DETAILS.

**5. PUBLIC EASEMENTS**

EACH PUBLIC UTILITY SHALL BE WITHIN ITS OWN 20'-WIDE EASEMENT CENTERED ON THE UTILITY.

**6. UTILITY SEPARATION**

ALL SANITARY SEWERS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM WATER MAINS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

**GENERAL STORM SEWER CONSTRUCTION NOTES:**

**1. CONSTRUCTION STANDARDS**

ALL MATERIALS, CONSTRUCTION, METHODS, TESTING AND INSPECTION SHALL BE IN ACCORDANCE WITH THE CURRENT LEELANAU COUNTY CONSTRUCTION STANDARDS UNLESS OTHERWISE SPECIFIED.

**2. CONNECTIONS**

NO CONNECTIONS SHALL BE MADE TO SANITARY SEWERS.

**3. STRUCTURE ADJUSTMENTS**

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING CATCH BASIN AND/OR MANHOLE RIMS TO THE FINISH GRADE ELEVATIONS. THE LOCATIONS AND ELEVATIONS SHOWN ARE BASED UPON PLAN GRADES AND ARE SUBJECT TO CHANGE.

**4. UTILITY SEPARATION**

ALL STORM SEWERS SHALL MAINTAIN A MINIMUM OF 10' HORIZONTAL SEPARATION AND 1.5' VERTICAL SEPARATION FROM WATER MAINS. MEASUREMENTS ARE BETWEEN THE CLOSEST POINTS OF EACH PIPE.

Plot Date: 10/23/2024 10:23:06 AM User: C:\Users\amorris\OneDrive\Documents\23054.dwg Plot Date: 10/23/2024 10:23:06 AM User: C:\Users\amorris\OneDrive\Documents\23054.dwg

830 Cottageview Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
www.maaeps.com  
info@maaeps.com

**Mansfield**  
Land Use Consultants

REV	DATE	BY	CHK	DESCRIPTION
1	10/23/2024	mm	pk	ORIGINAL DESIGN (FOR APPLICATION)

Amoritas Holdings, LLC - Under Canvas  
Proposed Agricultural Tourism Use  
NOTES SHEET  
Sections 3 & 10, Town 29 North, Range 12 West  
Centerville Township, Leelanau County, Michigan

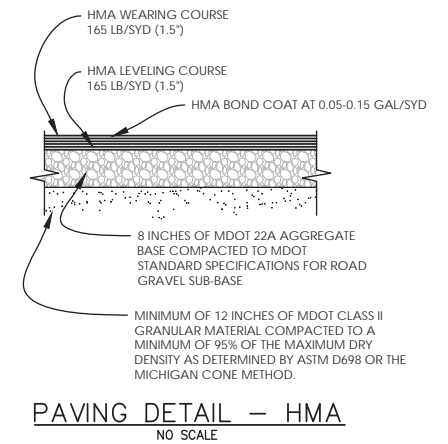
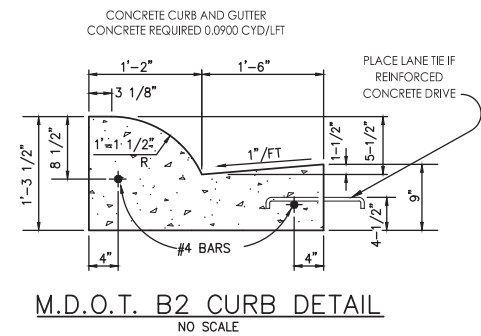
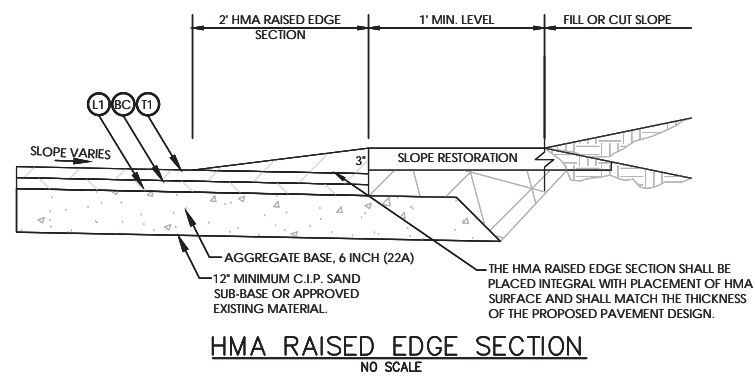
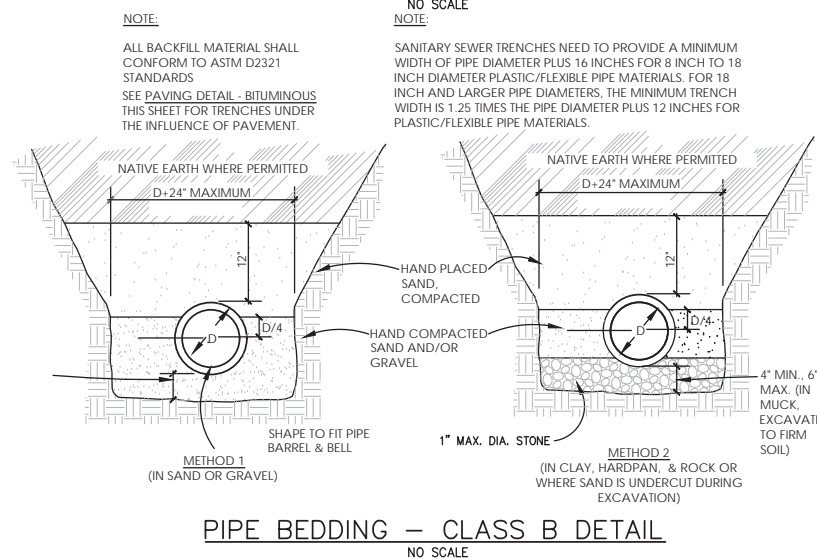
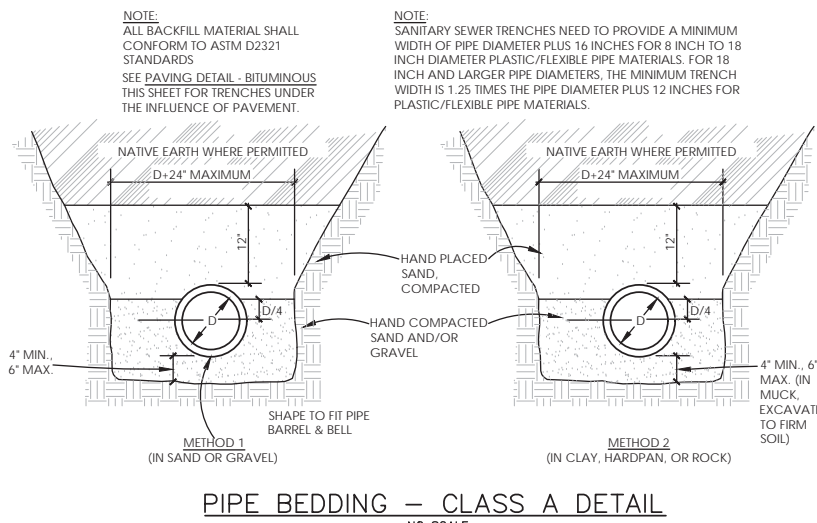
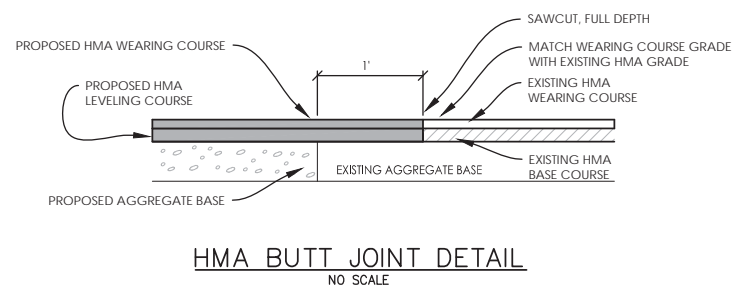
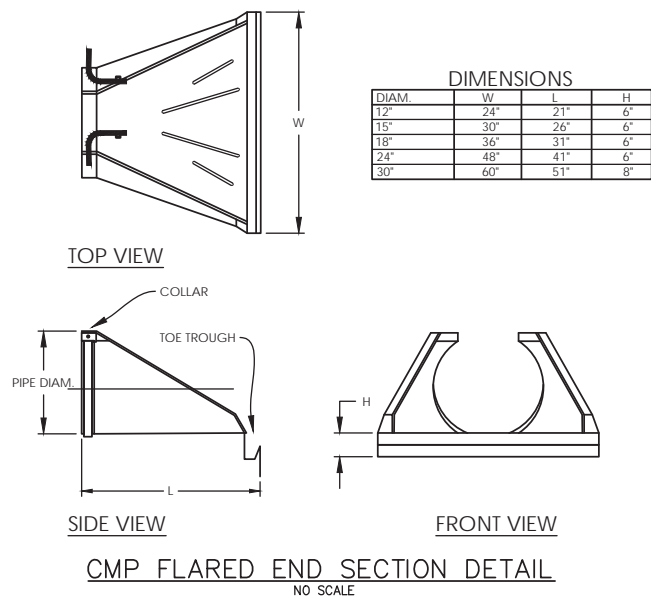
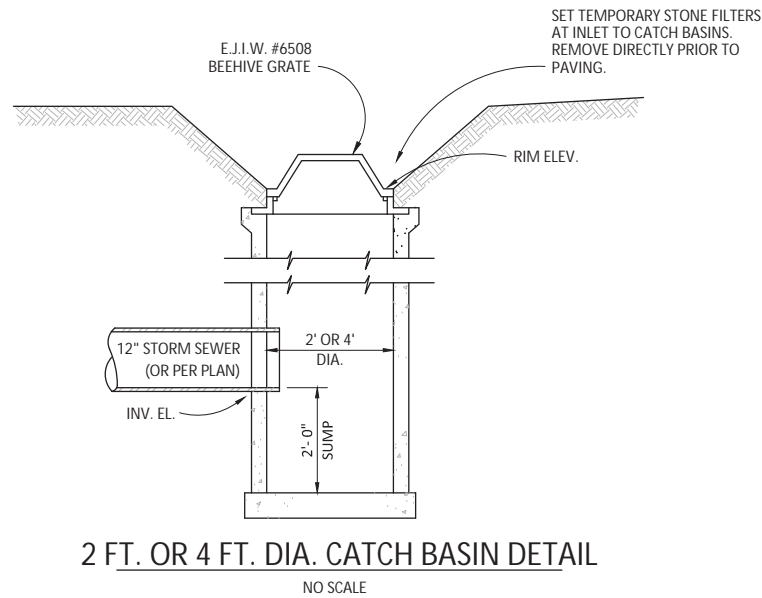
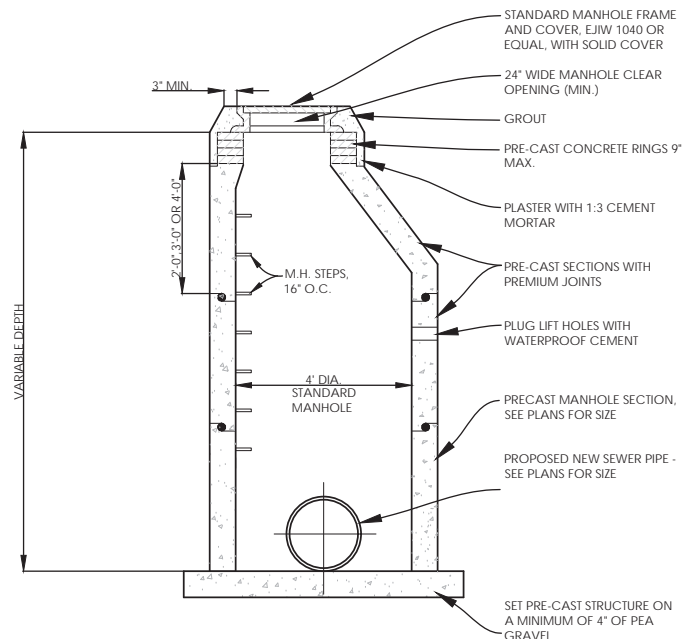
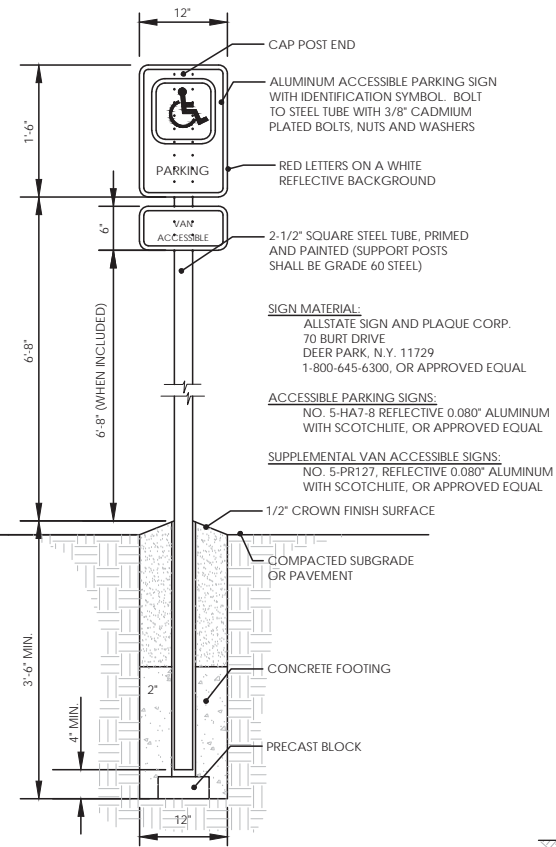
PRELIMINARY

pk

mm, pk, 05.25.23

23054

C.1.1



REV.	DATE	BY	CHK.	DIS.	APP.
00	10.11.2023	PHK	MMH	PHK	MMH
01					
02					
03					
04					
05					
06					
07					
08					
09					
10					

BM#1  
SPIKE IN UTILITY POLE  
ELEV = 675.70 (NAVD '88)  
N. 13217.1600 E. 14827.3260

BM#2  
SPIKE IN ROOT 48" TREE  
ELEV = 739.77 (NAVD '88)  
N. 13767.1201 E. 12264.3304

830 Cotagewey Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
www.mansfield.com  
info@mansfield.com

**Mansfield**  
Land Use Consultants

**SURROUNDING PARCEL INFORMATION**

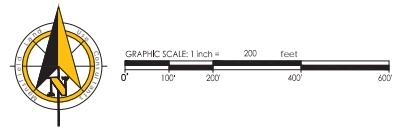
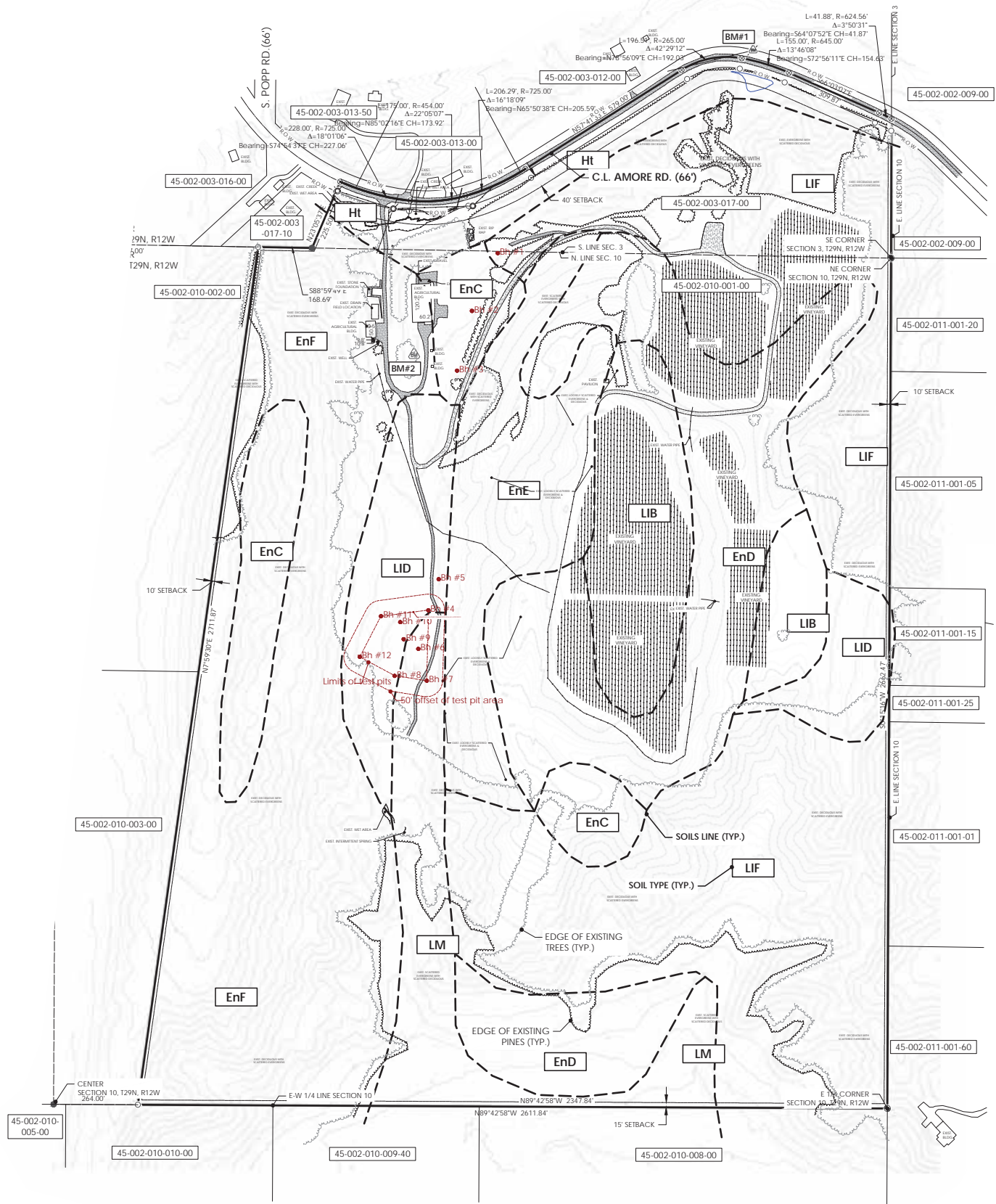
Tax ID	Owner/Address	Parcel Address	Current Zoning	Current Use
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45-002-003-012-00	DUANE & MELODY EVERETT 8573 RAPID CITY ROAD RAPID CITY, MI 49676	5885 E. AMORE RD.	AG	RESIDENTIAL
45-002-003-013-00	AMY KAPPELE 309 S. 6TH AVE., UNIT C SAINT CHARLES, IL 60174	5691 E. AMORE RD.	AG	RESIDENTIAL
45-002-003-013-50	STEPHEN & ROSI HAMILTON TRUST 5685 E. AMORE RD. LAKE LEELANAU, MI 49653	5685 E. AMORE RD.	AG	RESIDENTIAL
45-002-003-016-00	HASSLER TRUST 15 PLEASANT LAKE DR. WATERFORD, MI 48327	5568 E. AMORE RD.	AG	RESIDENTIAL
45-002-003-017-00	AMORITAS HOLDINGS LLC & MARY NORTH CUTT TRUST 6701 E. DUCK LAKE RD. LAKE LEELANAU, MI 49653	E. AMORE RD.	AG	AGRICULTURAL
45-002-003-017-10	JAMES HOLLEMAN 5680 E. AMORE RD. LAKE LEELANAU, MI 49653	5680 E. AMORE RD.	AG	RESIDENTIAL
45-002-010-001-00	AMORITAS HOLDINGS LLC & MARY NORTH CUTT TRUST 6701 E. DUCK LAKE RD. LAKE LEELANAU, MI 49653	5882 E. AMORE RD.	AG	AGRICULTURAL IMPROVED
45-002-010-002-00	JOHN HENRY & DENISE SCHLUETER 3280 S. FRENCH ROAD CEDAR, MI 49621	S. FRENCH RD.	AG	AGRICULTURAL
45-002-010-003-00	JAMES & MADELINE HOUDEK 7531 E. DUCK LAKE ROAD LAKE LEELANAU, MI 49653	S. FRENCH RD.	AG	AGRICULTURAL IMPROVED
45-002-010-005-00	JAMES & MADELINE HOUDEK 7531 E. DUCK LAKE ROAD LAKE LEELANAU, MI 49653	3471 S. FRENCH RD.	AG	AGRICULTURAL RESIDENTIAL IMPROVED
45-002-010-008-00	JO ANN INMAN TRUST 5807 E. HOHNKE RD. CEDAR, MI 49621	5807 E. HOHNKE RD.	AG	RESIDENTIAL AGRICULTURAL
45-002-010-009-40	PEPLINSKI FAMILY TRUST 7485 RUSS NOBEL DR. TRAVERSE CITY, MI 49685	E. HOHNKE RD.	AG	VACANT
45-002-010-010-00	5541 HOHNKE LLC 2624 W. AGATITE AVE. CHICAGO, IL 60625	5541 E. HOHNKE RD.	AG	IMPROVED USE UNVERIFIED
45-002-011-001-01	KEKOA HOLDING TRUST 3540 CAMINO ARROYO SANTA YNEZ, CA 93460	E. PINE KNOBBS DR.	AG	VACANT
45-002-011-001-05	WILLIAM & MICHELE UHAZE 6150 E. AMORE RD. LAKE LEELANAU, MI 49653	6150 E. AMORE RD.	AG	RESIDENTIAL
45-002-011-001-15	WILLIAM & MICHELE UHAZE 6150 E. AMORE RD. LAKE LEELANAU, MI 49653	E. PINE KNOBBS DR.	AG	VACANT
45-002-011-001-20	RALPH REICHA SR./ENHANCED LIFE EST 6116 E. AMORE RD. LAKE LEELANAU, MI 49653	6116 E. AMORE RD.	AG	RESIDENTIAL
45-002-011-001-25	DAVID & BETH ANN MARCHONNA 3530 EDGEWOOD DR. ANN ARBOR, MI 48104	S. LAKE SHORE DR.	AG	VACANT
45-002-011-001-60	DARYL & KATHY COUTURIER 6160 E. HUMMINGBIRD LN. LAKE LEELANAU, MI 49653	6160 HUMMINGBIRD LN	AG	RESIDENTIAL COMMERCIAL

**45-002-003-017-00**  
TAX DESC:  
PRT SE 1/4 SEC 3 BEG AT SE SEC COR TH N 429 FT TO C/L CO RD TH ALG C/L N 68 DEG W 580.8 FT TH S 58 DEG W 858 FT TH N 87DEG W 396 FT TH N 60 DEG W 48 FT TH S 22 DEG 34' 51" W 228.47 FT TH E 1813.23 FT N/L TO POB SEC 3 T29N R12W.

**45-002-010-001-00**  
TAX DESC:  
NE 1/4 EXC BEG NW COR NE 1/4 TH E 627 FT TH S 8 DEG W TO S LN NE 1/4 TH W 264 FT TO SW COR NE 1/4 TH N TO POB SEC 10 T29N R12W 133 A.

**LEELANAU COUNTY SOILS MAP LEGEND (MI089)**

Map Unit Symbol	Map Unit Name
EnC	Emmet-Leelanau complex, 6 to 12% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Low Infiltration: 0.57 to 1.98 in/hr Depth to Water Table: More than 80 inches
EnD	Emmet-Leelanau complex, 12 to 18% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Low Infiltration: 0.57 to 1.98 in/hr Depth to Water Table: More than 80 inches
EnE	Emmet-Leelanau complex, 18 to 25% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Medium Infiltration: 0.57 to 1.98 in/hr Depth to Water Table: More than 80 inches
EnF	Emmet-Leelanau complex, 25 to 50% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Medium Infiltration: 0.57 to 1.98 in/hr Depth to Water Table: More than 80 inches
Ht	Hettlinger-Tonkey loams Depth to restrictive layer: More than 80 inches Natural Drainage Class: Poorly drained Runoff Class: Medium Infiltration: 0.06 to 0.20 in/hr Depth to Water Table: About 0 inches
LIB	Leelanau-East Lake loamy sands, 0 to 6% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Negligible Infiltration: 1.98 to 5.95 in/hr Depth to Water Table: More than 80 inches
LID	Leelanau-East Lake loamy sands, 12 to 18% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Very Low Infiltration: 1.98 to 5.95 in/hr Depth to Water Table: More than 80 inches
LIF	Leelanau-East Lake loamy sands, 25 to 45% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Low Infiltration: 1.98 to 5.95 in/hr Depth to Water Table: More than 80 inches
Lm	Lupton-Markey mucks, 0 to 2% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Very poorly drained Runoff Class: Very Low Infiltration: 0.20 to 5.95 in/hr Depth to Water Table: About 0 inches



Amoritas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
OVERALL EXISTING CONDITIONS  
Sections 3 & 10, Town 29 North, Range 12 West  
Centerville Township, Leelanau County, Michigan

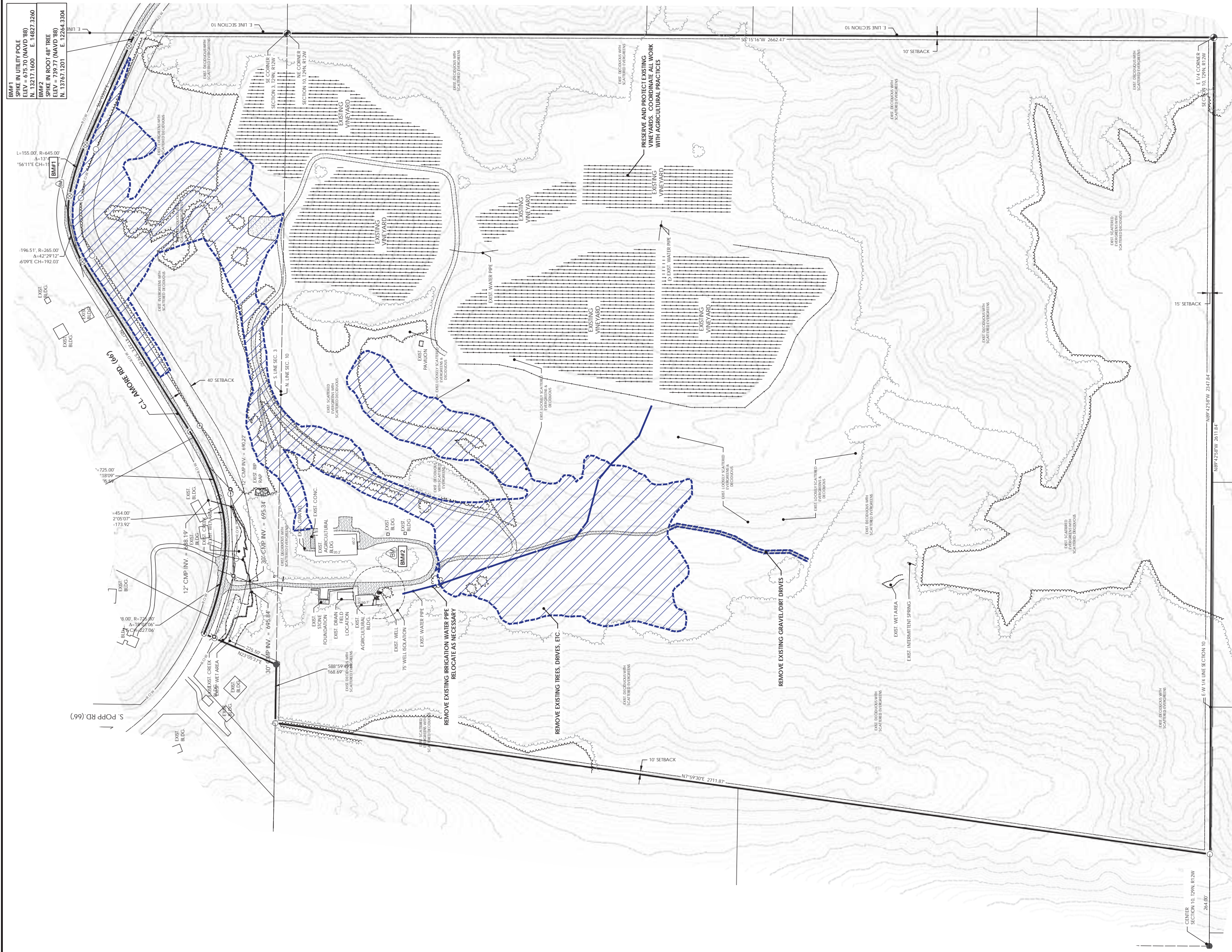
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PH: phk  
DW: mmw CD: phk CDATE: 05.25.23

JOB NO: 23054

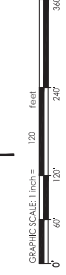
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BM#1  
SPIKE IN UTILITY POLE  
ELEV = 676.70 (NAVD '88)  
N. 13217.1600 E. 14827.3240

BM#2  
SPIKE IN ROOT 48" TREE  
ELEV = 739.77 (NAVD '88)  
N. 13767.1201 E. 12264.3304

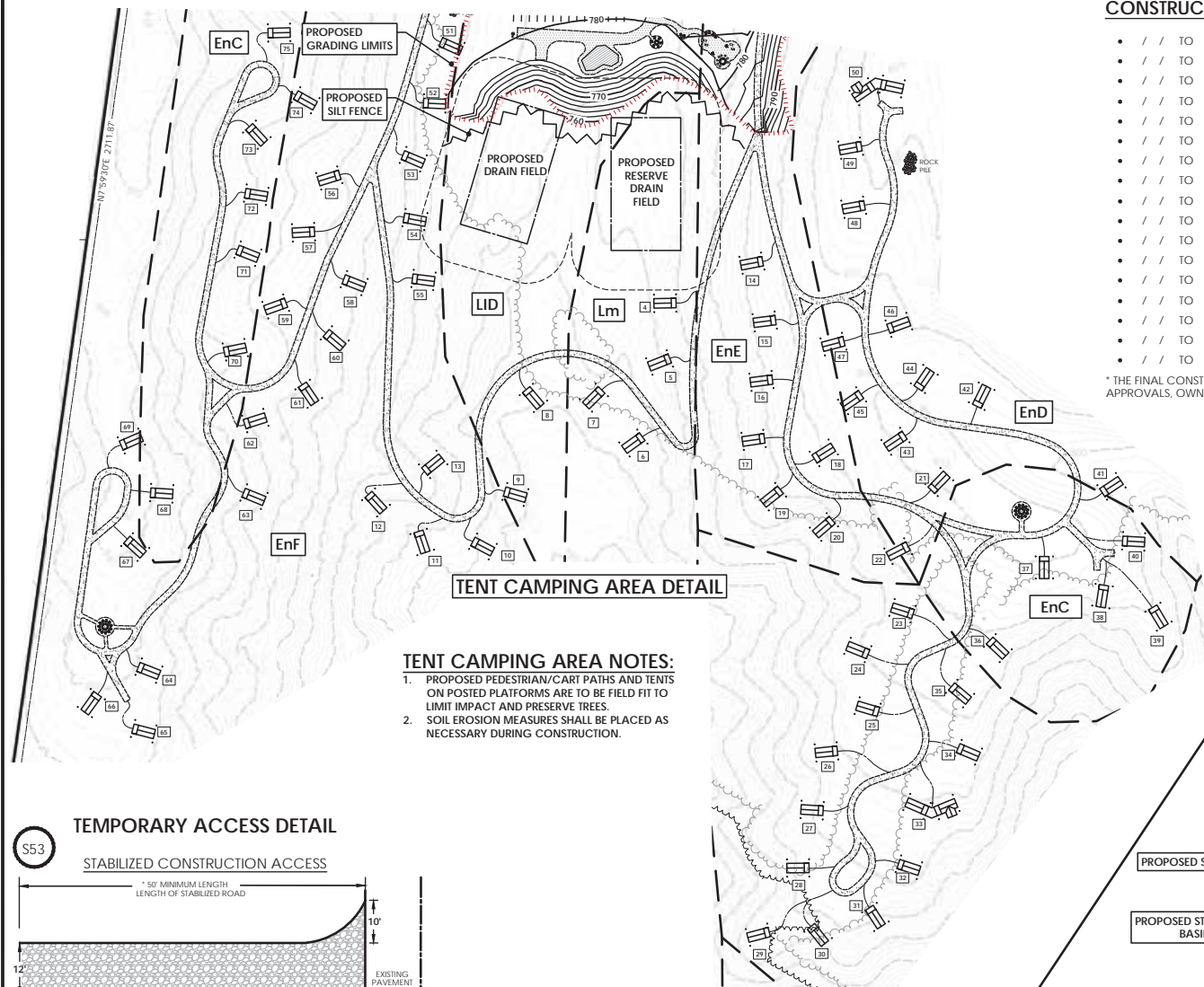


Amoritas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**DEMOLITION PLAN**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

REV#	DATE	DES	DRN	CHK	DESC
01	10.11.2023	PHK	MMM	PHK	ORIGINAL DESIGN (SPK APPLICATION)

**Mansfield**  
 Land Use Consultants  
 830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
 www.mansfieldmaps.com  
 info@mansfieldmaps.com

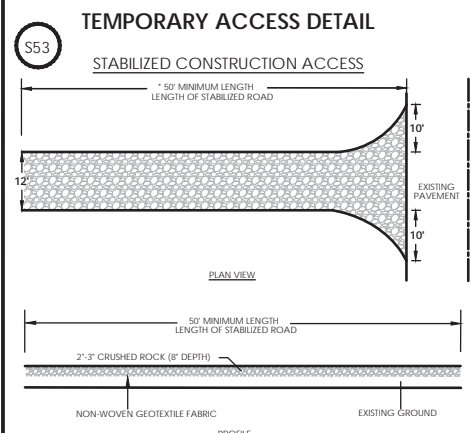
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 23054  
**C.2.1**



**TENT CAMPING AREA NOTES:**

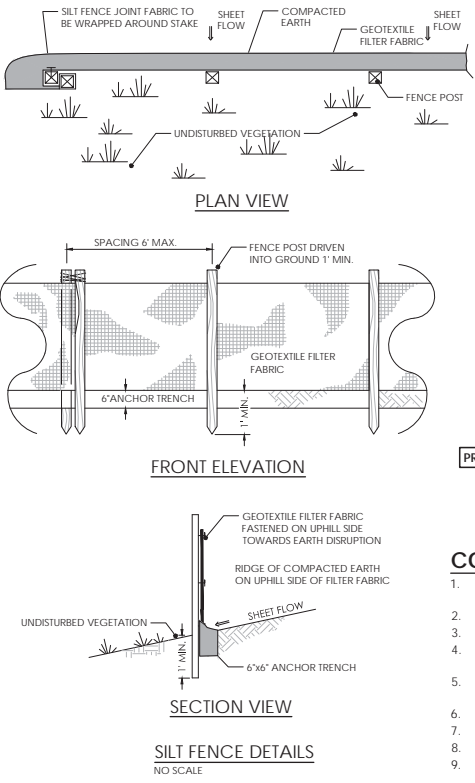
- PROPOSED PEDESTRIAN/CART PATHS AND TENTS ON POSTED PLATFORMS ARE TO BE FIELD FIT TO LIMIT IMPACT AND PRESERVE TREES.
- SOIL EROSION MEASURES SHALL BE PLACED AS NECESSARY DURING CONSTRUCTION.

- CONSTRUCTION SCHEDULE NARRATIVE:\***
- TO INSTALL TEMPORARY S.E.S.C. MEASURES
  - TO INSTALL CONSTRUCTION ENTRANCE
  - TO SITE CLEARING, GRUBBING & STUMP REMOVAL
  - TO SITE REMOVALS
  - TO STORM BASIN & PERMANENT S.E.S.C. MEASURES
  - TO RESTORATION - STORM BASIN
  - TO SITE GRADING
  - TO INSTALL SANITARY SEWERS & COMMUNITY SYSTEMS
  - TO INSTALL STORM SEWERS
  - TO INSTALL ALL UNDERGROUND PRIVATE UTILITIES
  - TO INSTALL CONCRETE CURB & GUTTER
  - TO INSTALL 22A ROAD GRAVEL
  - TO INSTALL TREES, LANDSCAPING & IRRIGATION
  - TO INSTALL HMA PAVEMENT
  - TO RESTORATION - SITE
  - TO INSTALL SIGNS, FENCES, PAVT MARKINGS, CLEANUP
  - TO REMOVE TEMPORARY S.E.S.C. MEASURES
- \* THE FINAL CONSTRUCTION SCHEDULE IS SUBJECT TO CHANGE BASED ON PERMIT APPROVALS, OWNER & CONTRACTOR SCHEDULES, ETC.

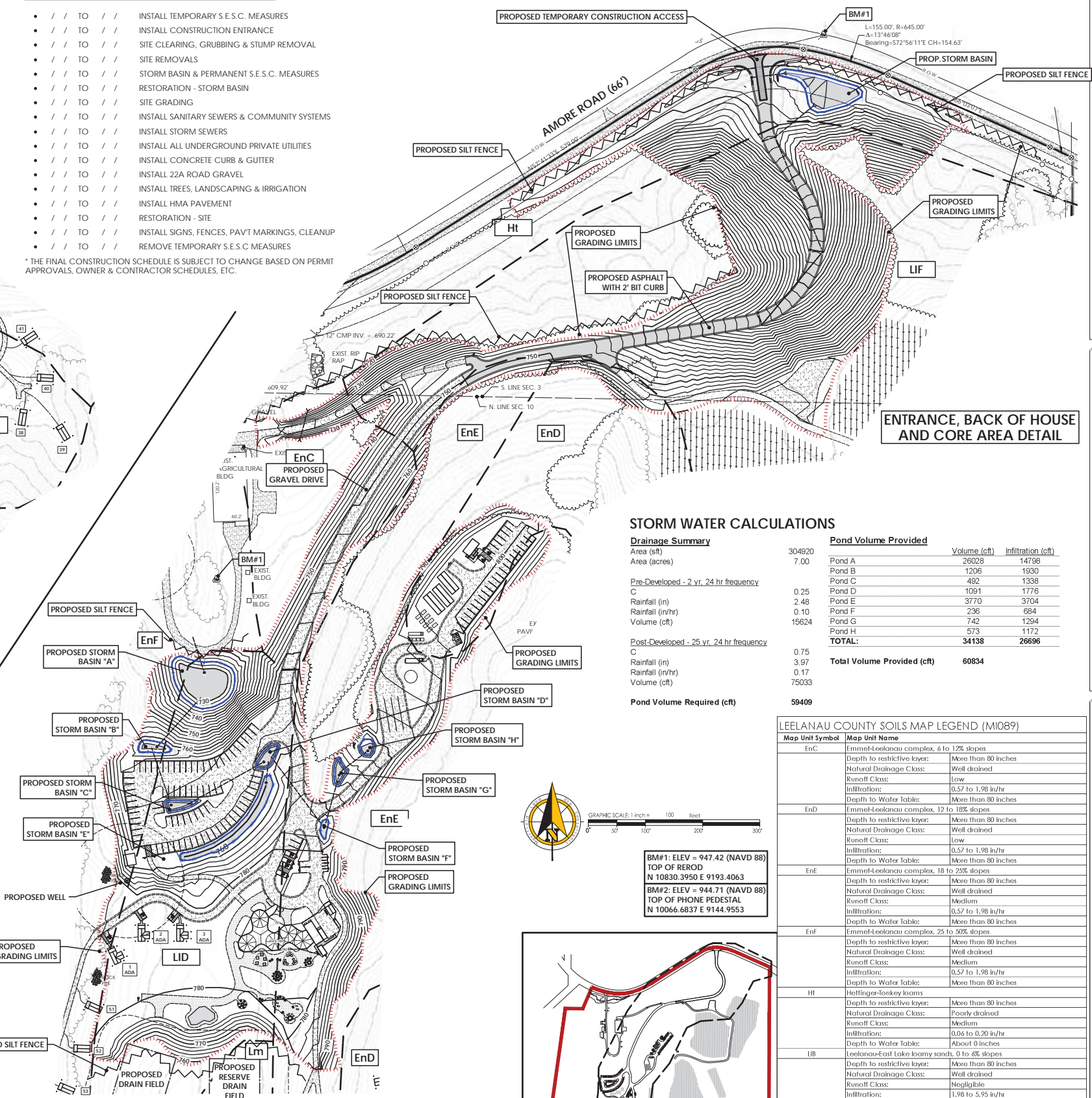


**STABILIZED CONSTRUCTION ACCESS SPECIFICATIONS**

- WHEN**
- CONSTRUCTION TRAFFIC IS EXPECTED TO LEAVE A CONSTRUCTION SITE.
  - STABILIZATION OF INTERIOR CONSTRUCTION ROADS IS DESIRED.
- WHY**
- TO MINIMIZE TRACKING OF SEDIMENT ONTO PUBLIC ROADWAYS AND TO MINIMIZE DISTURBANCE OF VEGETATION.
- WHERE**
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE LOCATED AT EVERY POINT WHERE CONSTRUCTION TRAFFIC ENTERS OR LEAVES A CONSTRUCTION SITE. VEHICLES LEAVING THE SITE MUST BE ROUTED OVER THE ROCK INGRESS/EGRESS CORRIDOR.
- HOW**
- STABILIZED CONSTRUCTION ACCESS ROAD SHOULD BE ESTABLISHED AT THE ONSET OF THE CONSTRUCTION ACTIVITIES AND MAINTAINED IN PLACE FOR THE DURATION OF THE CONSTRUCTION PROJECT.
  - INSTALLATION OF THIS PRACTICE SHOULD BE THE RESPONSIBILITY OF THE SITE CLEARING OR EXCAVATING CONTRACTOR.
  - ACCESS LOCATION SHOULD BE CLEARED OF WOODY VEGETATION.
  - NON-WOVEN GEOTEXTILE FABRIC SHALL BE PLACED OVER THE EXISTING GROUND PRIOR TO PLACING STONE.
  - ACCESS SIZE SHOULD BE A MINIMUM OF 50', (30' FOR SINGLE RESIDENCE LOT).
  - ACCESS WIDTH SHOULD BE 12' MINIMUM, FLARED AT THE EXISTING ROAD TO PROVIDE A TURNING RADIUS.
  - CRUSHED AGGREGATE (2" TO 3"), OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT, SHALL BE PLACED AT LEAST 8" DEEP OVER THE LENGTH AND WIDTH OF THE INGRESS/EGRESS CORRIDOR.
- MAINTENANCE**
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN EVENT.
  - STABILIZED ENTRANCES SHALL BE REPAIRED AND ROCK ADDED AS NECESSARY.
  - SEDIMENT DEPOSITED ON PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY AND RETURNED TO THE CONSTRUCTION SITE. REMOVE ACCUMULATED SEDIMENT IN THE SUMPS AND MAINTAIN SWEEPED ROADS.
  - IF SOILS ARE SUCH THAT WASHING OF TIRES IS REQUIRED, IT SHALL BE DONE IN A WASH RACK AREA, STABILIZED WITH STONE, IMMEDIATELY PRIOR TO THE CONSTRUCTION ACCESS STABILIZED CORRIDOR.
  - AT THE PROJECT COMPLETION, ROCK ACCESS ROAD SHOULD BE REMOVED AND DISPOSED OF UNLESS UTILIZED AS SUBGRADE FOR FINAL ROAD.
- LIMITATIONS**
- EFFECTIVENESS LIMITED, SEDIMENT MAY BE TRACKED ONTO ROADS REQUIRING ADDITIONAL ACTION.



- CONSTRUCTION NOTES:**
- SILT FENCE SHALL BE INSTALLED BEFORE THE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION UNTIL PERMANENT VEGETATION IS ESTABLISHED AND THE SITE IS STABILIZED. THE CONTRACTOR MUST REMOVE THE SILT FENCE UPON COMPLETION.
  - ALL STUMPS AND UNDERGROUND ORGANIC MATERIAL SHALL BE COMPLETELY REMOVED WITH AN EXCAVATOR AND HAULED OFF THE SITE.
  - ALL STUMPS, LOGS AND CHIPS SHALL BE HAULED OFF THE SITE. NOTHING SHALL BE BURIED ON SITE.
  - THE CONTRACTOR WILL OBTAIN A TEMPORARY ACCESS PERMIT FOR ACCESS ONTO US-31. THE TEMPORARY CONSTRUCTION ACCESS SHALL BE MAINTAINED THROUGHOUT THE DURATION OF CONSTRUCTION.
  - ANY REQUIRED STOCKPILES SHALL BE LOCATED INTERNALLY, AWAY FROM STORM BASINS AND WETLANDS. DORMANT STOCKPILES SHALL BE SEEDED TO PREVENT SEDIMENTATION AND AIRBORNE EROSION.
  - FINAL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE APPROVED S.E.S.C. PERMIT FROM THE COUNTY.
  - CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT STORM BASINS, ROADWAYS OR WETLANDS.
  - SLOPES 3:1 OR STEEPER SHALL BE RESTORED WITH MULCH BLANKET.
  - THE CONTRACTOR SHALL USE WATER OR DUST PALLIATIVE TO CONTROL DUST ON AND ADJACENT TO THE PROJECT SITE BY REGULAR SWEEPING, AS NECESSARY UNTIL THE SITE IS PERMANENTLY STABILIZED.
  - SOIL STOCKPILE LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE LOCATED WHERE THEY ARE NOT SUSCEPTIBLE TO HIGH SURFACE RUNOFF OR AIRBORNE EROSION. LONG-TERM STOCKPILES SHALL BE SEEDED WHEN NOT IN USE IN ORDER TO PREVENT AIRBORNE EROSION AND SEDIMENTATION.



**STORM WATER CALCULATIONS**

Drainage Summary		Pond Volume Provided	
Area (sf)	Area (acres)	Volume (cft)	Infiltration (cft)
304920	7.00	Pond A: 26028	14798
		Pond B: 1206	1930
		Pond C: 492	1338
		Pond D: 1091	1776
		Pond E: 3770	3704
		Pond F: 236	684
		Pond G: 742	1294
		Pond H: 573	1172
		<b>TOTAL:</b>	<b>34138</b>
		<b>Total Volume Provided (cft)</b>	<b>60834</b>
		<b>Pond Volume Required (cft)</b>	<b>59409</b>

**LEELANAU COUNTY SOILS MAP LEGEND (M1089)**

Map Unit Symbol	Map Unit Name
EnC	Emmett-Leelanau complex, 6 to 12% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Low Infiltration: 0.57 to 1.98 in/hr Depth to Water Table: More than 80 inches
EnD	Emmett-Leelanau complex, 12 to 18% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Low Infiltration: 0.57 to 1.98 in/hr Depth to Water Table: More than 80 inches
EnE	Emmett-Leelanau complex, 18 to 25% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Medium Infiltration: 0.57 to 1.98 in/hr Depth to Water Table: More than 80 inches
EnF	Emmett-Leelanau complex, 25 to 50% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Medium Infiltration: 0.57 to 1.98 in/hr Depth to Water Table: More than 80 inches
HI	Helfinger-Tonkey loams Depth to restrictive layer: More than 80 inches Natural Drainage Class: Poorly drained Runoff Class: Medium Infiltration: 0.06 to 0.20 in/hr Depth to Water Table: About 0 inches
L1B	Leelanau-East Lake loamy sands, 0 to 6% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Negligible Infiltration: 1.98 to 5.95 in/hr Depth to Water Table: More than 80 inches
L1D	Leelanau-East Lake loamy sands, 12 to 18% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Very Low Infiltration: 1.98 to 5.95 in/hr Depth to Water Table: More than 80 inches
L1F	Leelanau-East Lake loamy sands, 25 to 45% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Well drained Runoff Class: Low Infiltration: 1.98 to 5.95 in/hr Depth to Water Table: More than 80 inches
Lm	Lupton-Markley mucks, 0 to 2% slopes Depth to restrictive layer: More than 80 inches Natural Drainage Class: Very poorly drained Runoff Class: Very Low Infiltration: 0.20 to 5.95 in/hr Depth to Water Table: About 0 inches

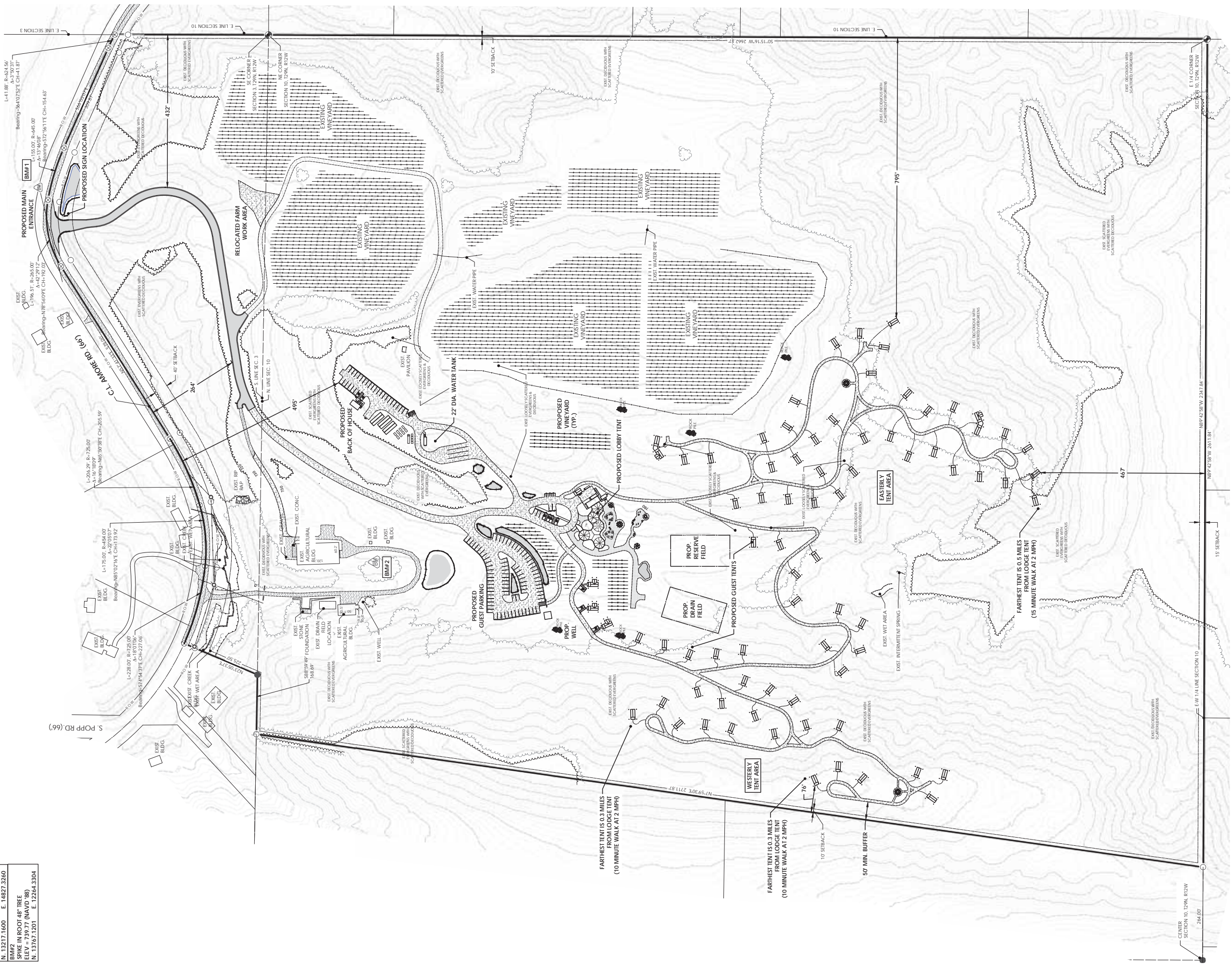
830 Cottageview Dr., Ste. 201  
P.O. Box 4015  
Traverse City, MI 49685  
Phone: 231-946-9310  
www.mansfield.com  
info@mansfield.com

**Mansfield**  
Land Use Consultants

Amoritas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**SOIL EROSION AND SEDIMENTATION CONTROL PLAN**  
Sections 3 & 10, Town 29 North, Range 12 West  
Centerville Township, Leelanau County, Michigan

PRELIMINARY  
JOB NO: 23054  
DATE: 05.25.23  
C3.0

**BMP#1**  
 SPIKE IN UTILITY POLE  
 N. 13271.7600 E. 14827.3260  
 ELEV. = 675.70 (NAVD 88)  
**BMP#2**  
 SPIKE IN BOOTH 48" TREE  
 N. 13767.1201 E. 12264.3304  
 ELEV. = 739.77 (NAVD 88)



**PROJECT SUMMARY**

**Project Size:**  
 148 acres gross

**Existing Land Use:**  
 Amoritas Vineyard. Famed agricultural land containing two agricultural outbuildings. Much of the area not suitable for farming is actively managed hardwood forest.

**Proposed Land Use:**  
 Glamping (lodging), an ancillary use to a working farms operation allowed by Special Use Permit by Section 4.24 Agricultural Tourism.

**Existing Structural Elements (farm):**

- 1 Garage (1,900sf)
- 1 Barn (7,000sf)
- 1 Pavilion (140sf)

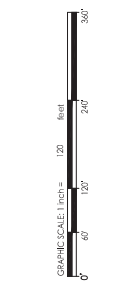
**Proposed Structural Elements (glamping):**

- 1 Lobby tent / Kitchen (5,800sf)
- 75 Guest tents (300sf)
- 1 Guest Parking Area
- 1 Back of House Area -laundry, staff break area, staff parking, storage, refuse, deliveries

**Number of Guests/Employees:**  
 Employees night shift 3-5  
 Guests average 2.5 per tent

**Parking:**  
 approximately 30 Employee Parking Spaces  
 approximately 92 Guest Parking Spaces

day shift 20-30  
 approximately 188 full occupancy



PRELIMINARY

PH: phk  
 PR: mmr  
 CD: phk  
 CREATOR: 05.25.23

JOB NO: 23054

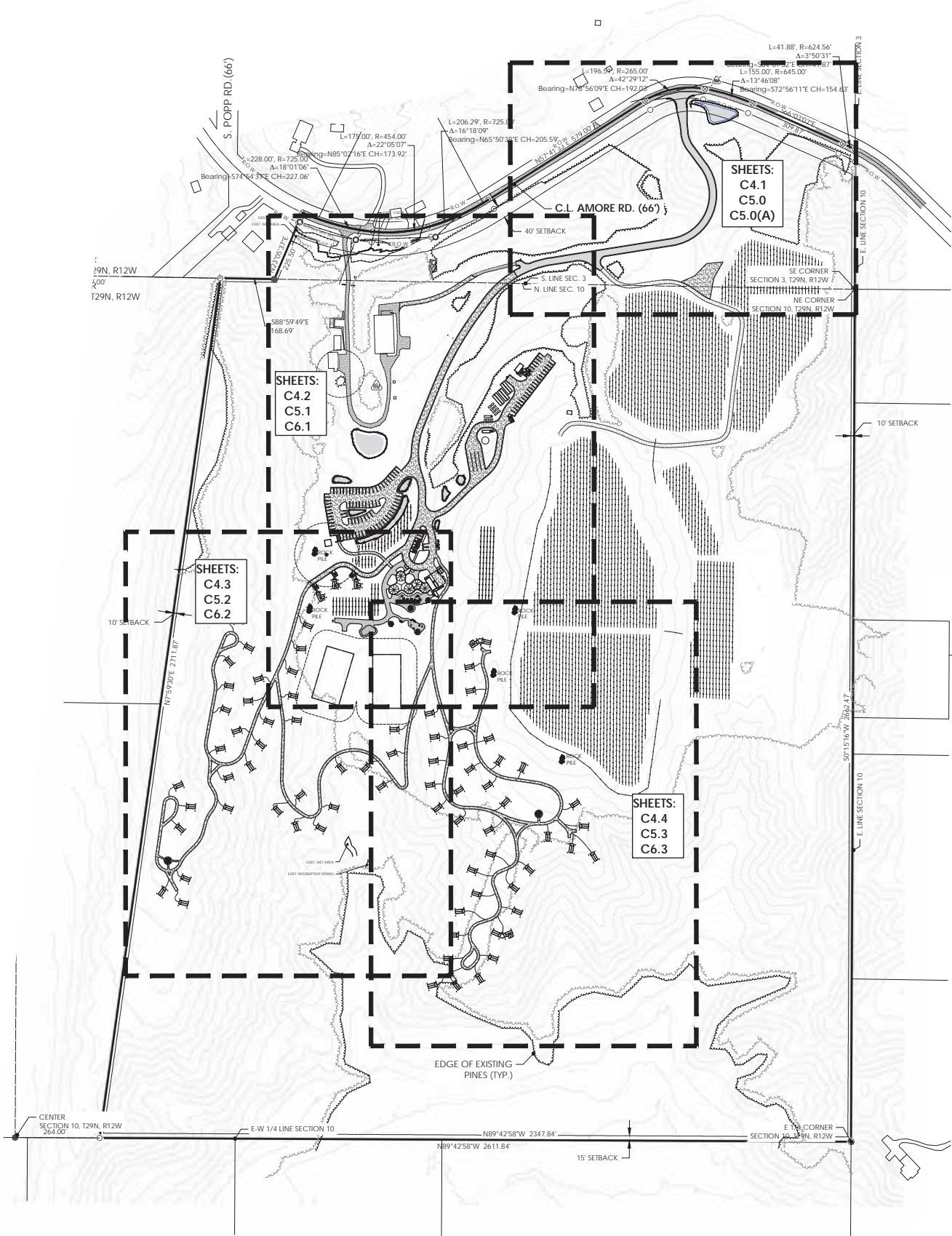
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**Amoritas Holdings, LLC - Under Canvas**  
**Proposed Agricultural Tourism Use**  
**OVERALL SITE PLAN**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

REV	DATE	DES	DWG	CHK	DESC
00	10/17/2023	PHK	MMR	PHK	ORIGINAL DESIGN (SPR APPLICATION)

**Mansfield**  
 Land Use Consultants

830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
 www.mansfieldps.com  
 info@mansfieldps.com



**PROJECT NARRATIVE:**

- TRASH: UNDER CANVAS WILL UTILIZE DUMPSTERS ON THE PROPERTY, WHICH WILL BE LOCATED IN A SCREENED AREA. THESE WILL BE REGULARLY EMPTIED AND SERVICED BY A LOCAL PROVIDER.
- SEASONAL: UNDER CANVAS IS A SEASONAL BUSINESS OPERATING APPROXIMATELY APRIL TO OCTOBER (WEATHER DEPENDENT). SOME OF THE TENTS MAY BE TAKEN DOWN AT THE END OF THE SEASON AND PUT INTO STORAGE WITH ONLY SOME OF THE LARGER TENTS REMAINING UP THROUGH THE WINTER. UNDER CANVAS EMPLOYEES WILL MANAGE AND MAINTAIN ALL EQUIPMENT.
- ROAD MAINTENANCE: ROADS WILL BE GRADED ANNUALLY AND FURTHER MAINTENANCE AS NEEDED WILL BE UNDERTAKEN BY UNDER CANVAS. TO PREVENT EROSION AND WASHOUTS, ROADS EXCEEDING 10% GRADE WILL BE PAVED INCLUDING APPROPRIATE STORM WATER INFRASTRUCTURE. ALL OTHER ROADS WILL BE COMPACTED AND SURFACED WITH CRUSHED GRAVEL. DRAINAGE DITCHES WITH CULVERTS WILL BE INSTALLED TO DIRECT WATER AWAY FROM ROAD SURFACES AND DIRECTED TO STORM WATER RETENTION BASINS AND/OR EXISTING DRAINAGES.
- EMERGENCY PROTOCOL: ALL UNDER CANVAS STAFF WILL BE TRAINED IN EMERGENCY PROCEDURES FOR INCLEMENT WEATHER (SEVERE STORMS) AND FIRE. EMERGENCY RESPONDERS WILL HAVE ACCESS TO EACH SITE. WATER AND SEWER: ALL WATER AND SEWER LINES WILL BE DESIGNED AND INSTALLED PER THE REQUIREMENTS OF THE LEELELANAU COUNTY HEALTH DEPARTMENT. AT THE END OF EVERY SEASON WATER LINES WILL BE BLOWN OUT AND THE CAMP WINTERIZED. ALL LINES ARE CONSIDERED PRIVATE AND ARE THE RESPONSIBILITY OF UNDER CANVAS.
- FIRE RISK AND DEFENSIBLE SPACE: FIRES ARE ALLOWED ONLY IN THE FIRE PITS AS SHOWN AND WITHIN STOVES LOCATED IN TENTS. SMOKING IS ONLY ALLOWED IN A DESIGNATED AREAS AND NO SMOKING OR CAMP FIRES ARE ALLOWED AT TENT LOCATIONS. AREAS AROUND TENTS AND OTHER FACILITIES WILL BE KEPT CLEAR OF DEAD WOOD AND VEGETATION FOR FUEL REDUCTION. GENERAL USFS GUIDE LINES WILL BE FOLLOWED FOR CAMP GROUND MAINTENANCE REGARDING FUEL REDUCTION. THE WATER SUPPLY SYSTEM WILL HAVE A HOSE AND YARD HYDRANT AT THE FIRE PITS AND IN OTHER AREAS AROUND THE CAMP FOR QUICK RESPONSE SITUATIONS.
- LIGHTING: LOW LEVEL EXTERIOR LIGHTING IS PROPOSED THROUGHOUT CAMP. ALL LIGHTING WILL BE DOWNWARD ORIENTED AND SHIELDED TO PREVENT GLARE. MOST LIGHTING IS TEMPORARY IN NATURE FOR SAFETY DURING OPERATING SEASON. EXTERIOR LIGHTING PROPOSED INCLUDES (BUT IS NOT LIMITED TO): SOLAR PATHWAY LIGHTING, FESTOON LIGHTS ON EXTERIOR OF LOBBY, EXTERIOR TENT LIGHT, EXTERIOR LIGHTING ON BATHHOUSES, ENTRY SIGN LIGHTING.
- SIGNAGE: ALL TENTS HAVE TENT NUMBER SIGNAGE. DIRECTIONAL SIGNAGE FOR TENT LOCATIONS IS PLACED AS REQUIRED ALONG ROADS AND CART PATHS. PARKING AREAS HAVE DESIGNATION SIGNAGE. ADA PARKING SIGNAGE IS PROVIDED AS REQUIRED.

**NOTES:**

- TOPOGRAPHIC CONTOURS AND AERIAL IMAGERY LOCATION ARE APPROXIMATE.
- APPROXIMATE DISTANCE BETWEEN TENTS 75 FT.
- ALL WATER, SEWER, AND UTILITY LINES INSTALLED BENEATH ROADS WHERE POSSIBLE.
- ROADS EXCEEDING 10% GRADE ARE PAVED. ALL OTHER ROADS, CART PATHS, AND PARKING AREAS ARE GRAVEL SURFACING.
- GUEST TENTS ARE ON ELEVATED DECKS MINIMIZING DISTURBANCE BENEATH TENT.
- TENTS ARE NOT ON PERMANENT FOUNDATIONS AND MAY BE MOVED. ACCORDINGLY, PATHS ACCESSING TENTS MAY BE ADJUSTED FROM WHAT IS SHOWN ON PLANS.
- A WASTEWATER TREATMENT SYSTEM WILL BE DESIGNED IN ACCORDANCE WITH LEELELANAU COUNTY HEALTH DEPARTMENT STANDARDS AND REGULATIONS.
- WATER SUPPLY DESIGN WILL BE DESIGNED IN ACCORDANCE WITH LEELELANAU COUNTY HEALTH DEPARTMENT STANDARDS AND REGULATIONS.
- FIRE PIT LOCATIONS SUBJECT TO CHANGE.
- FENCING PROPOSED. LOCATION TBD.

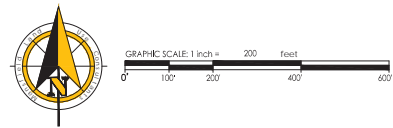
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**Mansfield**  
Land Use Consultants

REV#	DATE	DES	DWN	CHK
01	10.11.2023	PHK	MAM	PHK

Amoritas Holdings, LLC - Under Canvas  
Proposed Agricultural Tourism Use  
**OVERALL SITE KEY SHEET**  
Sections 3 & 10, Town 29 North, Range 12 West  
Centerville Township, Leelanau County, Michigan

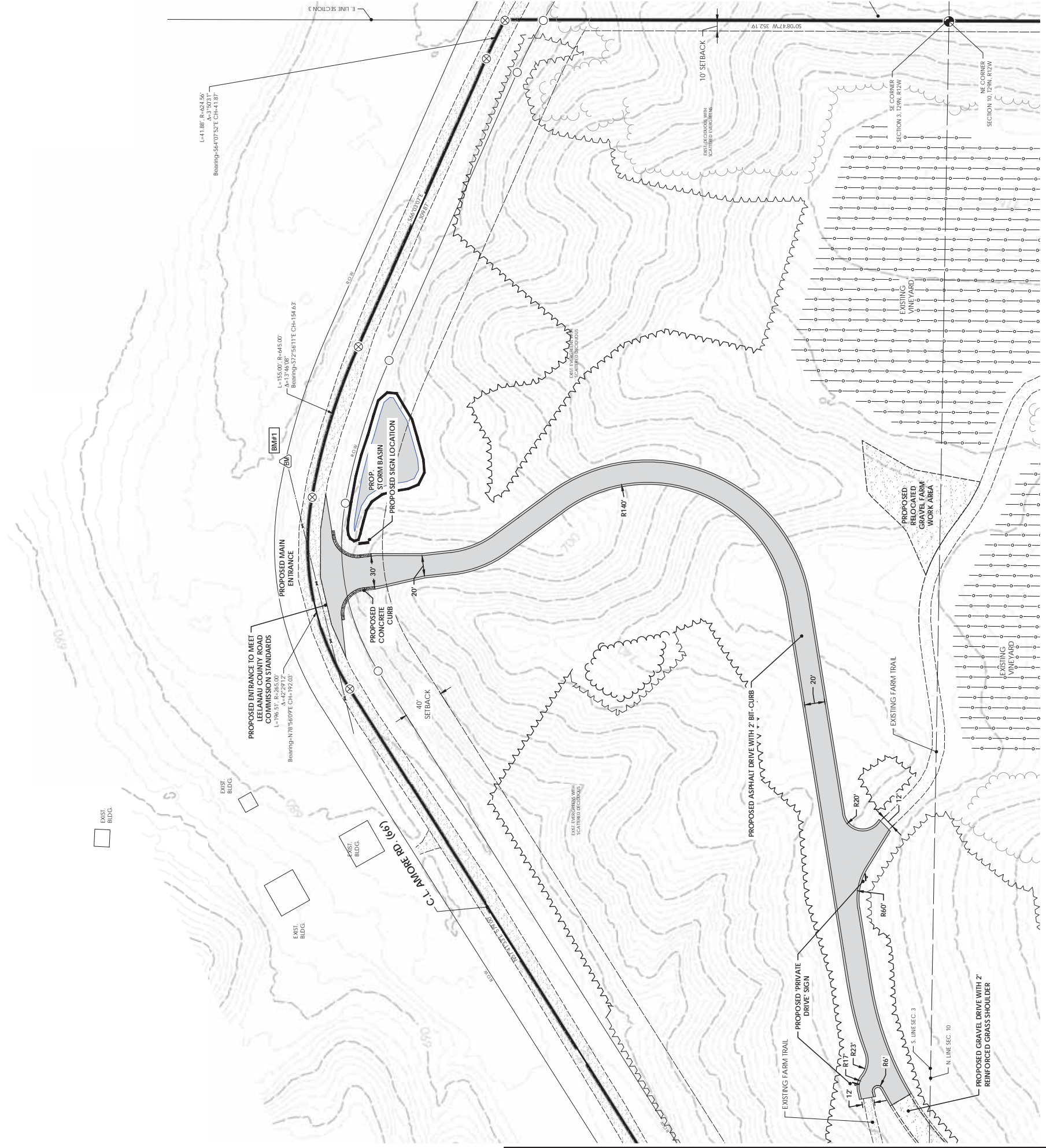
PRELIMINARY  
 P.L. phk  
 DES: mmw    CHK: phk    DATE: 05.25.23  
 JOB NO.: 23054  
**C4.0(A)**



P:\Users\phk\OneDrive\Documents\23054 - Amoritas Holdings, LLC - Under Canvas\Amoritas Holdings, LLC - Under Canvas\Amoritas Holdings, LLC - Under Canvas\Amoritas Holdings, LLC - Under Canvas\Amoritas Holdings, LLC - Under Canvas\C4.0(A) OVERALL KEY SHEET - Oct 11, 2023 2:38pm - 1x2023.dwg

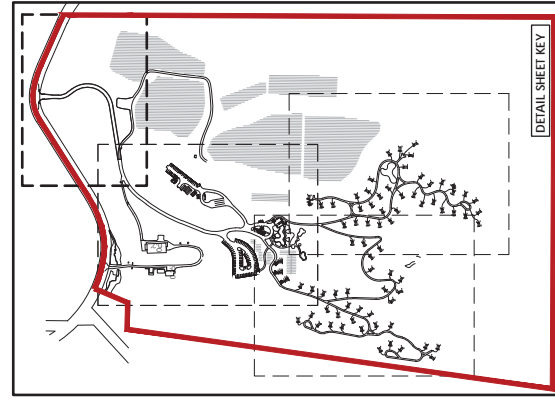


BM#1  
SPIKE IN UTILITY POLE  
ELEV = 675.70 (MVD '88)  
N. 13217.1600 E. 14827.3260



SEE SHEET C4.2

SEE SHEET C4.2



DETAIL SHEET KEY

Amoritas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**SITE AND DIMENSION PLAN-ENTRANCE AREA**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

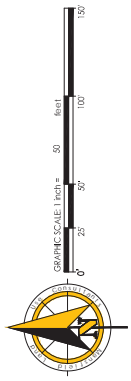
PRELIMINARY

DATE: mm/dd/yyyy  
 TIME: mm/dd/yyyy  
 JOB NO: 23054  
 C4.1

REV	DATE	BY	CHK	DESCRIPTION

**Mansfield**  
 Land Use Consultants

830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
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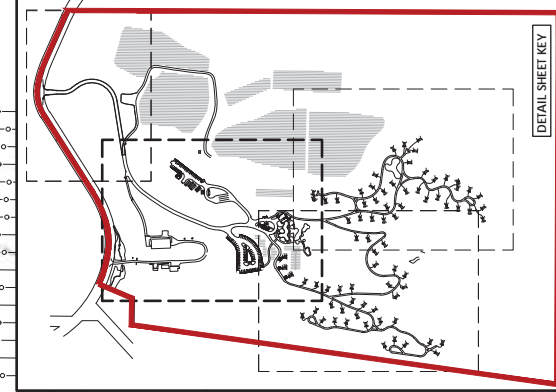
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SEE SHEET C4.1

SEE SHEET C4.3

SEE SHEETS C4.3 AND C4.4



DETAIL SHEET KEY

PRELIMINARY

PH: phk

DR: mmh CDD: phk CREA: 05.25.23

JOB NO: 23054

C4.2

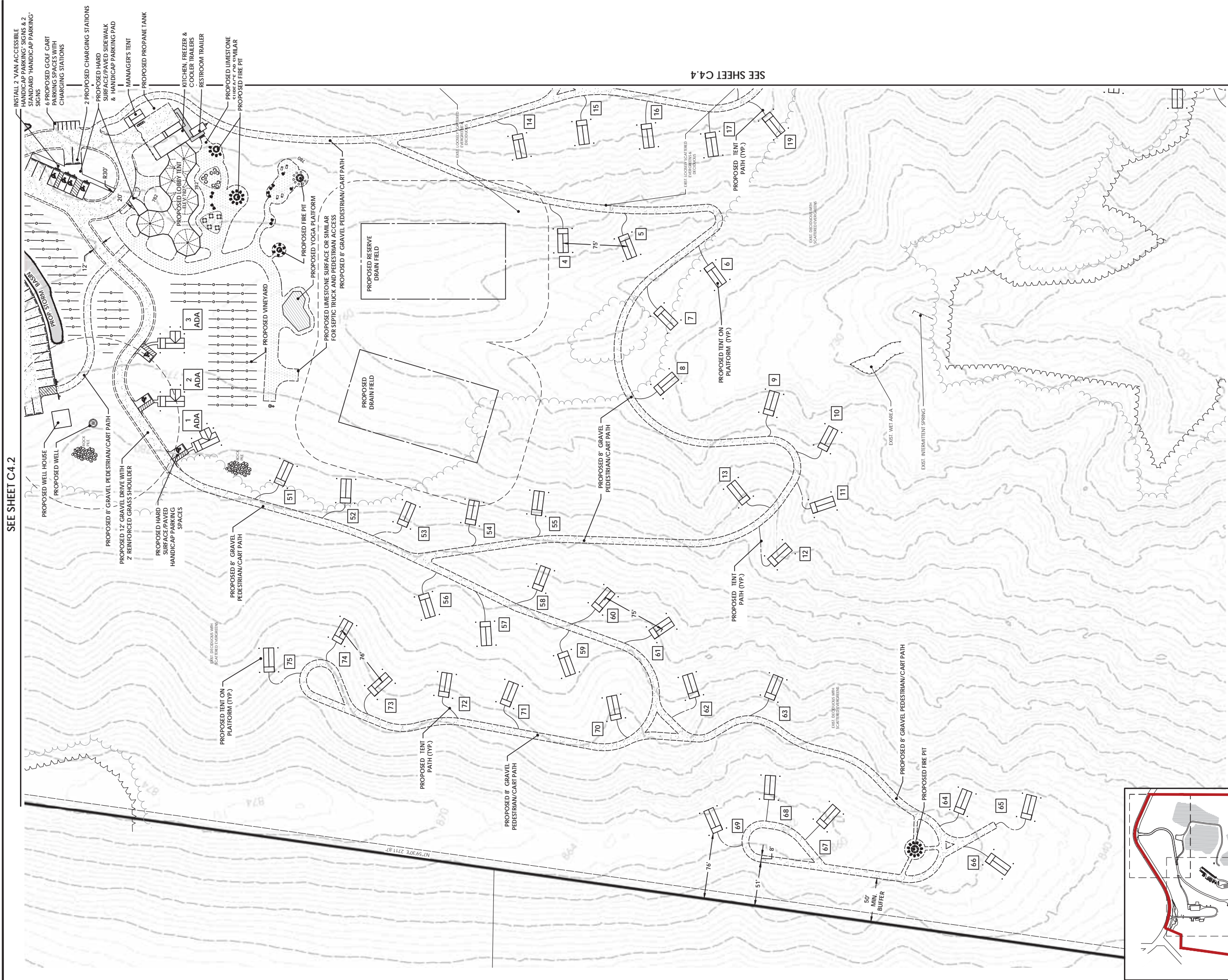
Amoritas Holdings, LLC - Under Canvas  
 Proposed Agricultural Tourism Use  
**SITE AND DIMENSION PLAN - CORE AREA**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

**Mansfield**  
 Land Use Consultants

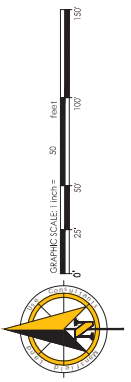
830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
 www.mansfieldplanning.com  
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REV	DATE	BY	CHK	DESC
00	10/11/2022	PHK	MMH	ORIGINAL DESIGN (DWG APPLICATION)

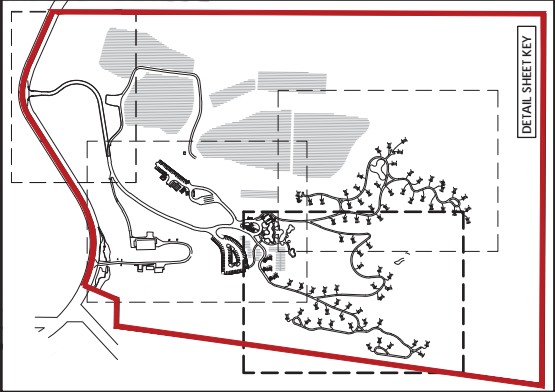
SEE SHEET C4.2



SEE SHEET C4.4



- NOTES: (FROM SHEET C4.0(A))**
- APPROXIMATE DISTANCE BETWEEN TENTS 7.5 FT.
  - GUEST TENTS ARE ON ELEVATED DECKS MINIMIZING DISTURBANCE BENEATH TENT.
  - TENTS ARE NOT ON PERMANENT FOUNDATIONS AND MAY BE MOVED. ACCORDINGLY, PATHS ACCESSING TENTS MAY BE ADJUSTED FROM WHAT IS SHOWN ON PLANS.



REV#	DATE	DES	CHK	APP	CHK	DATE	DESCRIPTION
1.0	10/11/2023	PKH	MMH	PKH			ORIGINAL DESIGN (FOR APPLICATION)

PRELIMINARY

PK: phk  
 DR: mmh  
 JOB NO: 23054

DATE: 05-25-23  
 CREATOR: phk

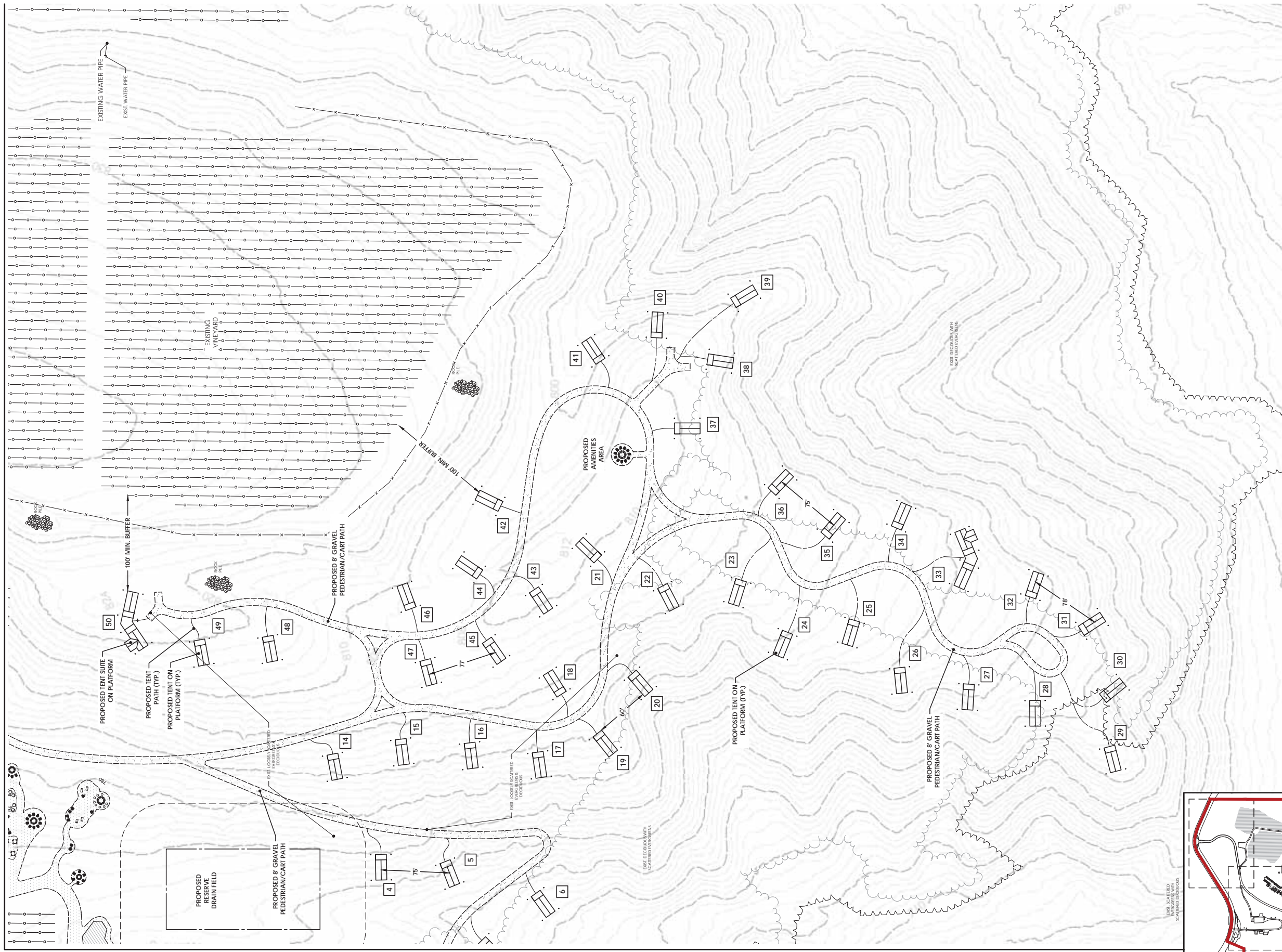
C4.3

Amoritas Holdings, LLC - Under Canvas  
 Proposed Agricultural Tourism Use  
 SITE AND DIMENSION PLAN - WESTERLY TENT AREA  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

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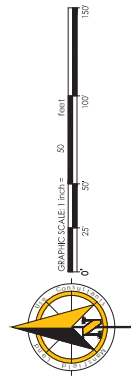
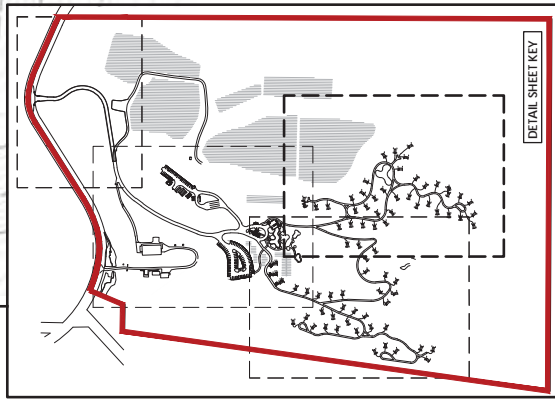
SEE SHEET C4.2

SEE SHEET C4.3



**NOTES: (FROM SHEET C4.0(A))**

1. APPROXIMATE DISTANCE BETWEEN TENTS: 75 FT.
2. GUEST TENTS ARE ON ELEVATED DECKS MINIMIZING DISTURBANCE BENEATH TENT.
3. TENTS ARE NOT ON PERMANENT FOUNDATIONS AND MAY BE MOVED ACCORDINGLY. PATHS ACCESSING TENTS MAY BE ADJUSTED FROM WHAT IS SHOWN ON PLANS.



REV#	DATE	DIS	BY	CHK	DATE	CHK
1.0	10/17/2023	PKM	MMH	PKM		

Amoritas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**SITE AND DIMENSION PLAN - EASTERLY TENT AREA**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

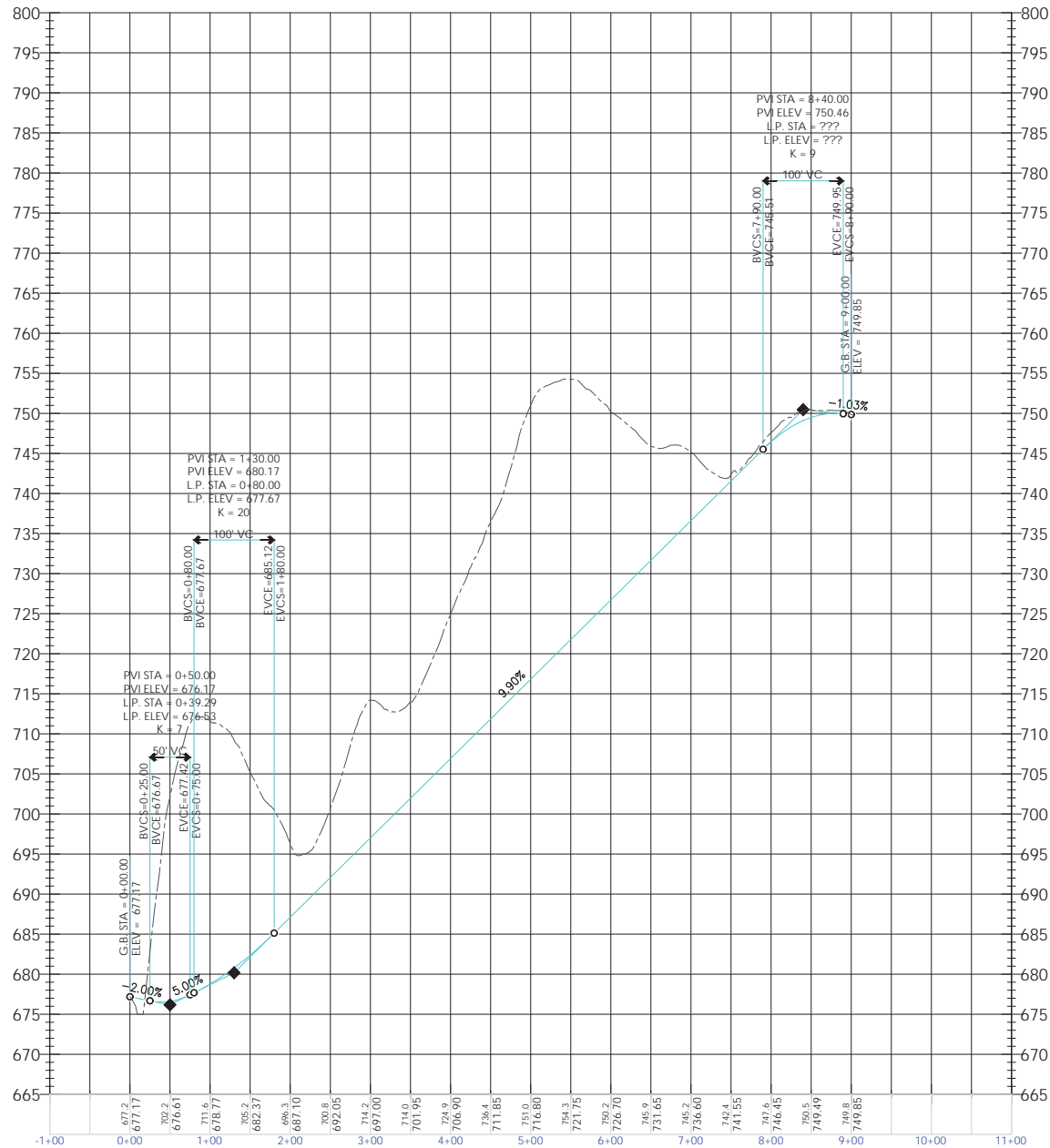
PRELIMINARY  
 PAK: phk  
 DR: mmh  
 JOB NO: 23054  
 C4.4

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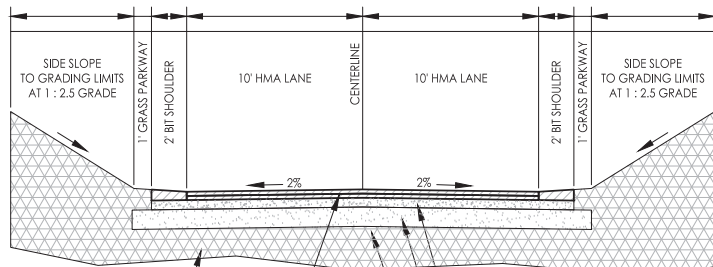
### CENTERLINE PROFILE

1" = 100'



### ROADWAY TYPICAL SECTION

NO SCALE



TOPSOIL STRIPPING FOLLOWED BY EARTH EXCAVATION AND/OR EMBANKMENT WITH SLOPE RESTORATION PER GRADING PLAN.

### HMA APPLICATION ESTIMATE\*

INDENT NO.	ITEM	RATE: LBS/SYD	PERFORMANCE GRADE	REMARKS
T1	HMA, SEMI/36A	165 (1.5')	58-28	TOP COURSE (AMI 220 MIN.)
L1	HMA, 45M/13A	165 (1.5')	58-28	LEVELING COURSE
BC	HMA BOND COAT	0.05-0.15 g/syd	NA	FOR INFORMATION ONLY
-	HMA APPROACH	330	58-28	TWO LIFTS: (MATCH T1 & L1)

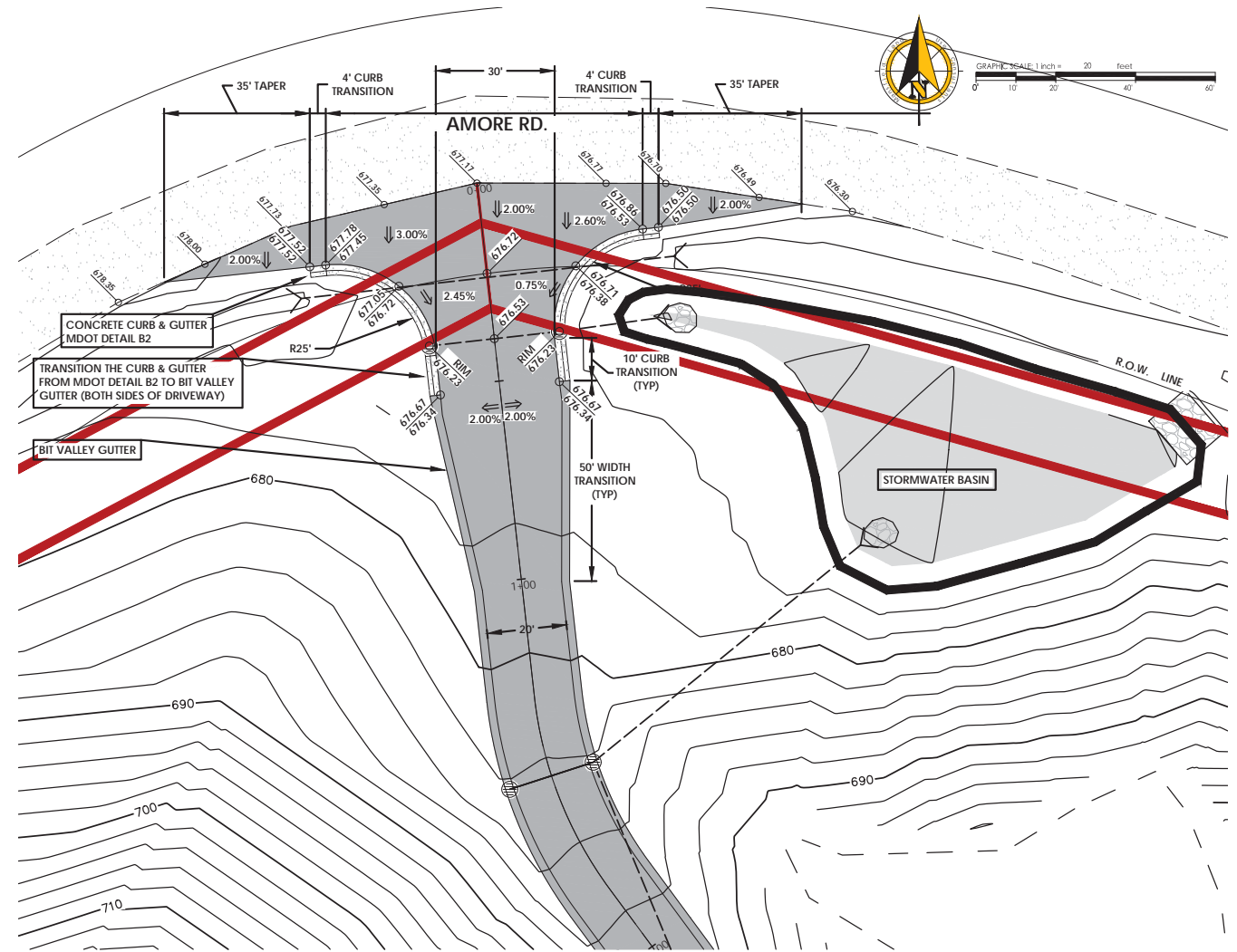
\* ALTERNATE, LOCALLY-AVAILABLE HMA MIXES MAY BE ALLOWED WITH PRIOR REVIEW & APPROVAL

### DRAINAGE CALCULATIONS

Precipitation Frequency	
Source:	NCAA's National Weather Service, Precipitation Frequency Data Server
50-year, 24-hour frequency	4.6 inches
Road Surface Area	
Length of road	900 feet
Width of road	24 feet
Area of road	21600 sq ft
Volume Required	
Volume of precipitation (area of road x precipitation)	8280 cft
Volume Provided	
Top of pond contour area at elev 674	5465 sq ft
Bottom of pond contour area at elev 672	3447 sq ft
Volume of pond at 2' depth	8882 cft

### ENTRANCE DETAIL

1" = 20'



### GENERAL GRADING CONSTRUCTION NOTES:

- QUALITY OF WORK**  
ALL CONSTRUCTION WORKMANSHIP AND MATERIALS SHALL CONFORM TO THE CURRENT LEEANAU COUNTY ROAD COMMISSION STANDARDS AND M.D.O.T. CONSTRUCTION STANDARDS AND SPECIFICATIONS.
- SUBGRADE PREPARATION**  
THE PRESENCE OF OTHER THAN GRANULAR MATERIALS IN THE SUBGRADE SOIL SHALL REQUIRE A FULL WIDTH, TWELVE INCH GRANULAR SUB-BASE, M.D.O.T. CLASS II OR EQUIVALENT, PREPARED SUBGRADE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND/OR TESTED PRIOR TO PLACEMENT OF GRAVEL.
- AGGREGATE BASE MATERIAL**  
AGGREGATE BASE TO BE USED ON THE PROJECT MUST MEET SPECIFICATION FOR M.D.O.T. 22A, AND MUST BE TESTED AND APPROVED PRIOR TO PLACEMENT. AGGREGATE BASE PLACEMENT MUST COMPLY WITH SECTION 3.01 OF THE CURRENT MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION. PREPARED AGGREGATE BASE WIDTH, DEPTH AND COMPACTION MUST BE REVIEWED AND TESTED PRIOR TO THE PLACEMENT OF BITUMINOUS SURFACE.
- BITUMINOUS PAVEMENT (HMA)**  
THE CONTRACTOR SHALL GIVE THE OWNER'S REPRESENTATIVE 48 HOURS NOTICE PRIOR TO PLACEMENT OF BITUMINOUS SURFACE. BITUMINOUS PAVING MUST BE PERFORMED IN ACCORDANCE WITH THE CURRENT M.D.O.T. STANDARD SPECIFICATIONS FOR CONSTRUCTION.
- REMOVAL OF ORGANICS**  
ALL TREES, STUMPS, BRUSH AND ROOTS THEREOF, SHALL BE ENTIRELY REMOVED FROM WITHIN THE SITE GRADING.
- SITE GRADING**  
ALL DISTURBED AREAS SHALL BE TOPSOILED, SEEDED, FERTILIZED AND MULCHED AS SOON AS FEASIBLE. THE CONTRACTOR IS RESPONSIBLE FOR ESTABLISHING GROUND COVER ON ALL AREAS DISTURBED BY CONSTRUCTION.
- FIELD CHANGES**  
ANY CHANGES IN SPECIFICATIONS OR CONSTRUCTION METHODS MUST BE REVIEWED AND APPROVED BY THE ENGINEER AND OWNER, AND MUST NOT CONFLICT WITH APPROVED PERMITS.
- DRAINAGE**  
EXISTING STORM DRAINAGE SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE TO REPAIR OR REPLACE, AS REQUIRED, ALL DRAINAGE CULVERTS OR STRUCTURES DAMAGED DURING CONSTRUCTION AND SHALL BE CONSIDERED INCIDENTAL TO THE PROJECT. SEE THE PROPOSED GRADING PLAN FOR DETAILS ON CONSTRUCTION ITEMS.
- ADJUSTMENTS**  
THE CONTRACTOR SHALL ADJUST ALL UTILITY SURFACE ITEMS TO THE FINISH GRADES PRIOR TO PAVING.

### SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- SILT FENCE SHALL BE INSTALLED BEFORE THE CONSTRUCTION BEGINS AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT DURATION UNTIL PERMANENT VEGETATION IS ESTABLISHED AND THE SITE IS STABILIZED. THE CONTRACTOR MUST REMOVE THE SILT FENCE UPON COMPLETION.
- ALL STUMPS AND UNDERGROUND ORGANIC MATERIAL SHALL BE COMPLETELY REMOVED WITH AN EXCAVATOR AND HAULED OFF THE SITE.
- ALL STUMPS, LOGS AND CHIPS SHALL BE HAULED OFF THE SITE, NOTHING SHALL BE BURIED ON SITE.
- ANY REQUIRED STOCKPILES SHALL BE LOCATED INTERNALLY, AWAY FROM STORM BASINS AND WETLANDS. DORMANT STOCKPILES SHALL BE SEEDED TO PREVENT SEDIMENTATION AND AIRBORNE EROSION.
- FINAL CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE APPROVED S.E.S.C. PERMIT FROM THE COUNTY.
- CARE SHOULD BE TAKEN TO PREVENT MATERIAL MOVEMENT INTO ADJACENT DITCHES, ROADWAYS OR WETLANDS.
- SLOPES 3:1 OR STEEPER SHALL BE RESTORED WITH MULCH BLANKET.
- THE CONTRACTOR SHALL USE WATER OR DUST PALLIATIVE TO CONTROL DUST ON AND ADJACENT TO THE PROJECT SITE BY REGULAR SWEEPING, AS NECESSARY UNTIL THE SITE IS PERMANENTLY STABILIZED.
- SOIL STOCKPILE LOCATIONS SHALL BE DETERMINED BY THE CONTRACTOR AND SHALL BE LOCATED WHERE THEY ARE NOT SUSCEPTIBLE TO HIGH SURFACE RUNOFF OR AIRBORNE EROSION. LONG-TERM STOCKPILES SHALL BE SEEDED WHEN NOT IN USE IN ORDER TO PREVENT AIRBORNE EROSION AND SEDIMENTATION.

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Phone: 231-946-9310  
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info@maacps.com

**Mansfield**  
Lead Use Consultants

REV#	DATE	BY	CHK

Amoritas Holdings, LLC - Under Canvas  
Proposed Agricultural Tourism Use  
GRADING AND STORM PLAN - ENTRANCE DETAILS

Sections 3 & 10, Town 29 North, Range 12 West  
Centerville Township, Leelanau County, Michigan

PRELIMINARY

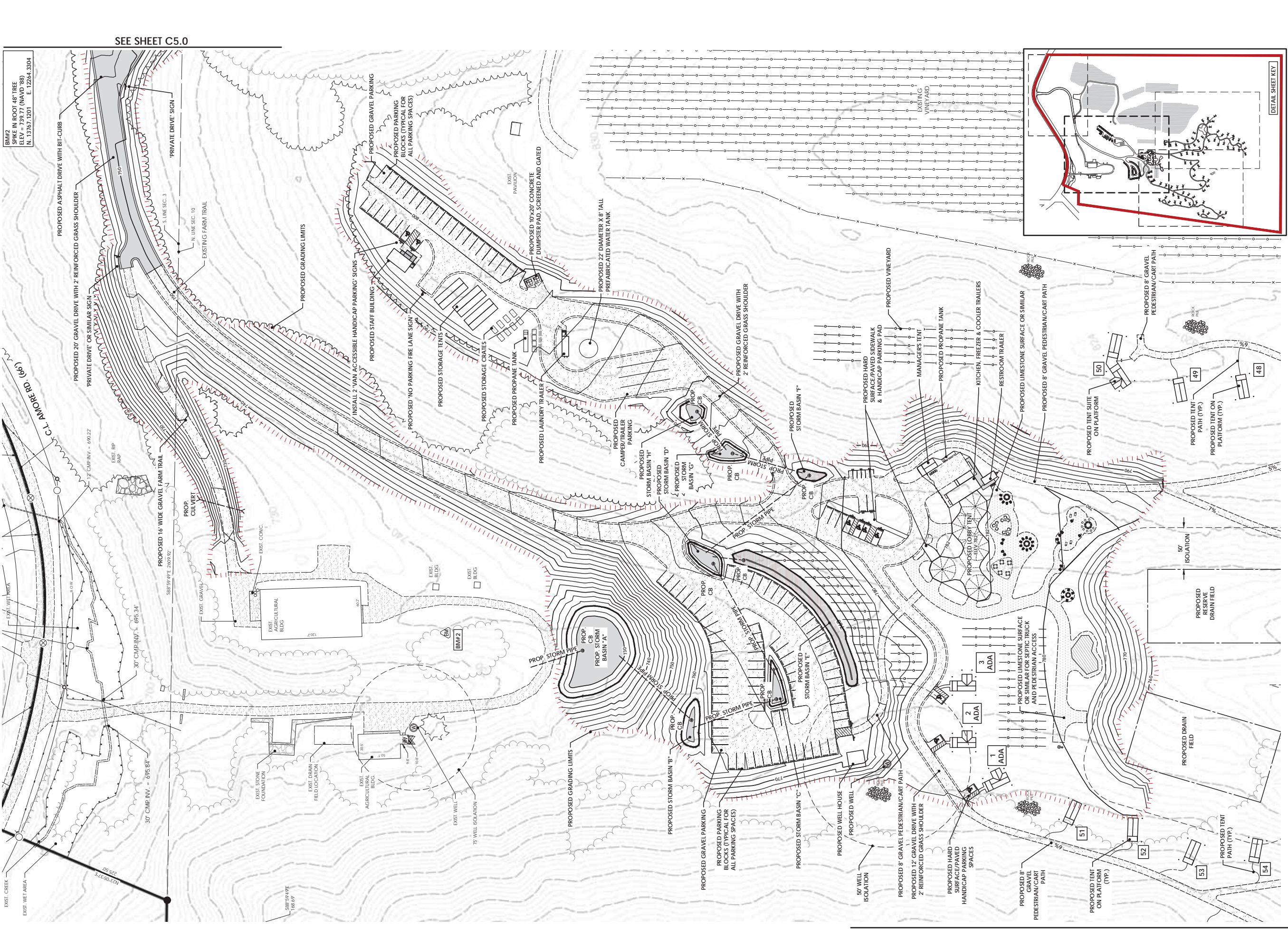
PK: phk

PK: mmm    CD: phk    CR: 05.25.23

PK: 23054

C5.0(A)

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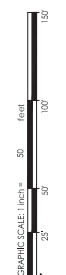
SEE SHEET C5.0

SEE SHEET C5.2

NOTES: (FROM SHEET C4.0(A))

- APPROXIMATE DISTANCE BETWEEN TENTS IS 75 FT.
- GUEST TENTS ARE ON ELEVATED DECKS MINIMIZING DISTURBANCE TO BENEATH THEM.
- TENTS ARE NOT ON PERMANENT FOUNDATIONS AND MAY BE MOVED. ACCORDINGLY, PATHS ACCESSING TENTS MAY BE ADJUSTED FROM WHAT IS SHOWN ON PLANS.

SEE SHEETS C5.2 AND C5.3



PRELIMINARY

DATE: 06/25/23

PROJECT NO: 23054

C5.1

Amoritas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**GRADING AND STORM PLAN - CORE AREA**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

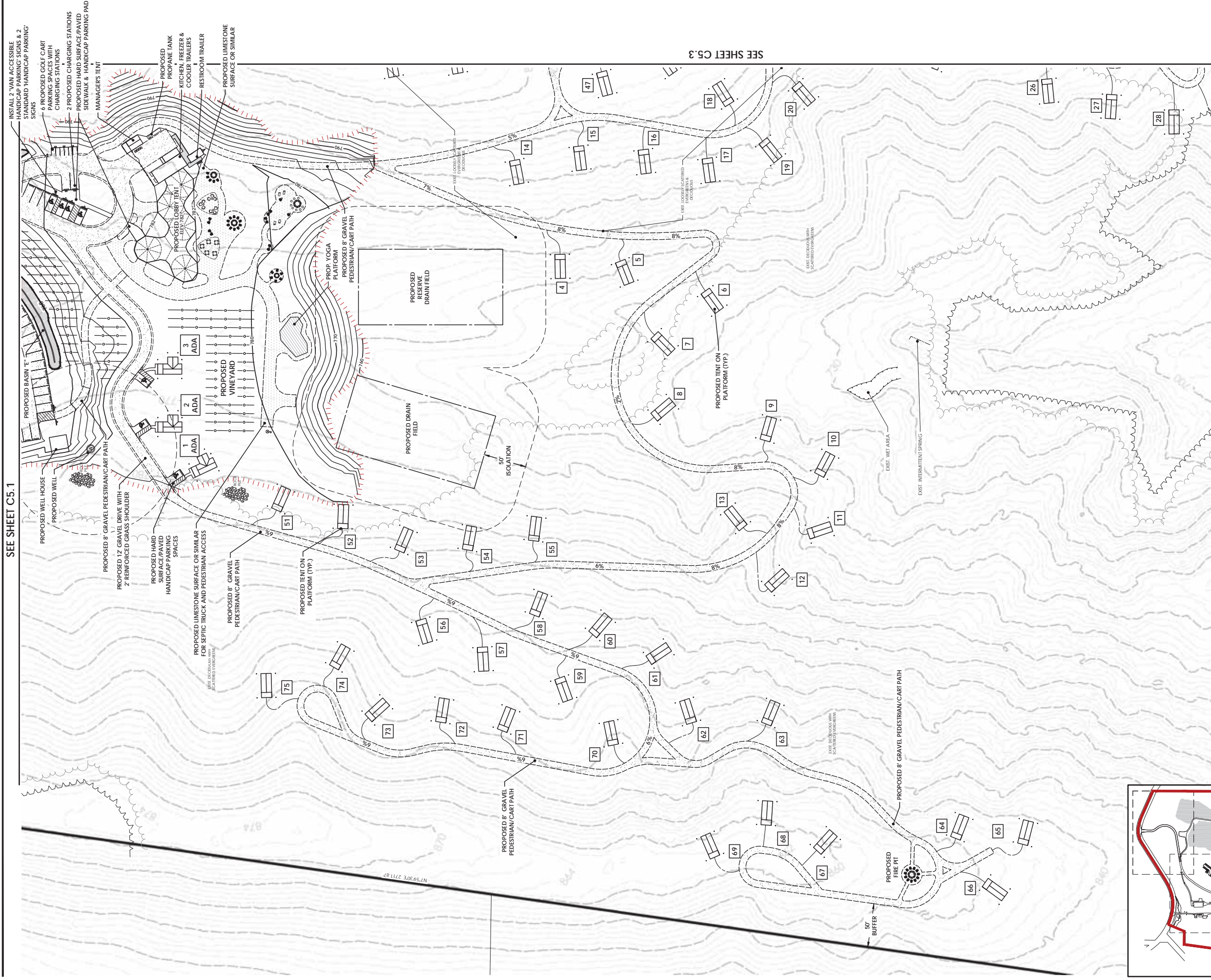
REV	DATE	BY	CHK	DESCRIPTION
00	10/11/2022	PHK	MMW	ORIGINAL DESIGN (DWG APPLICATION)

**Mansfield**  
 Land Use Consultants

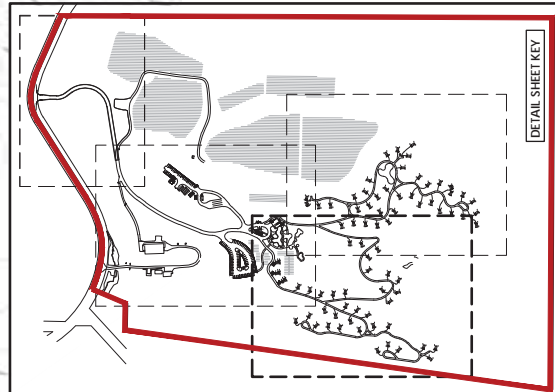
830 Cottageview Dr., Ste. 201  
 P.O. Box 4015  
 Traverse City, MI 49685  
 Phone: 231-946-9310  
 www.mansfieldplanning.com  
 info@mancpl.com

SEE SHEET C5.1

SEE SHEET C5.3



- NOTES: (FROM SHEET C4.0(A))**
- APPROXIMATE DISTANCE BETWEEN TENTS 75 FT.
  - GUEST TENTS ARE ON ELEVATED DECKS MINIMIZING DISTURBANCE BENEATH TENT.
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REV#	DATE	BY	CHK	CHK	DESCRIPTION
1.00	10/12/2023	PHK	MMM	PHK	ORIGINAL DESIGN (FOR APPLICATION)

Amoritas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**GRADING AND STORM PLAN - WESTERLY TENT AREA**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

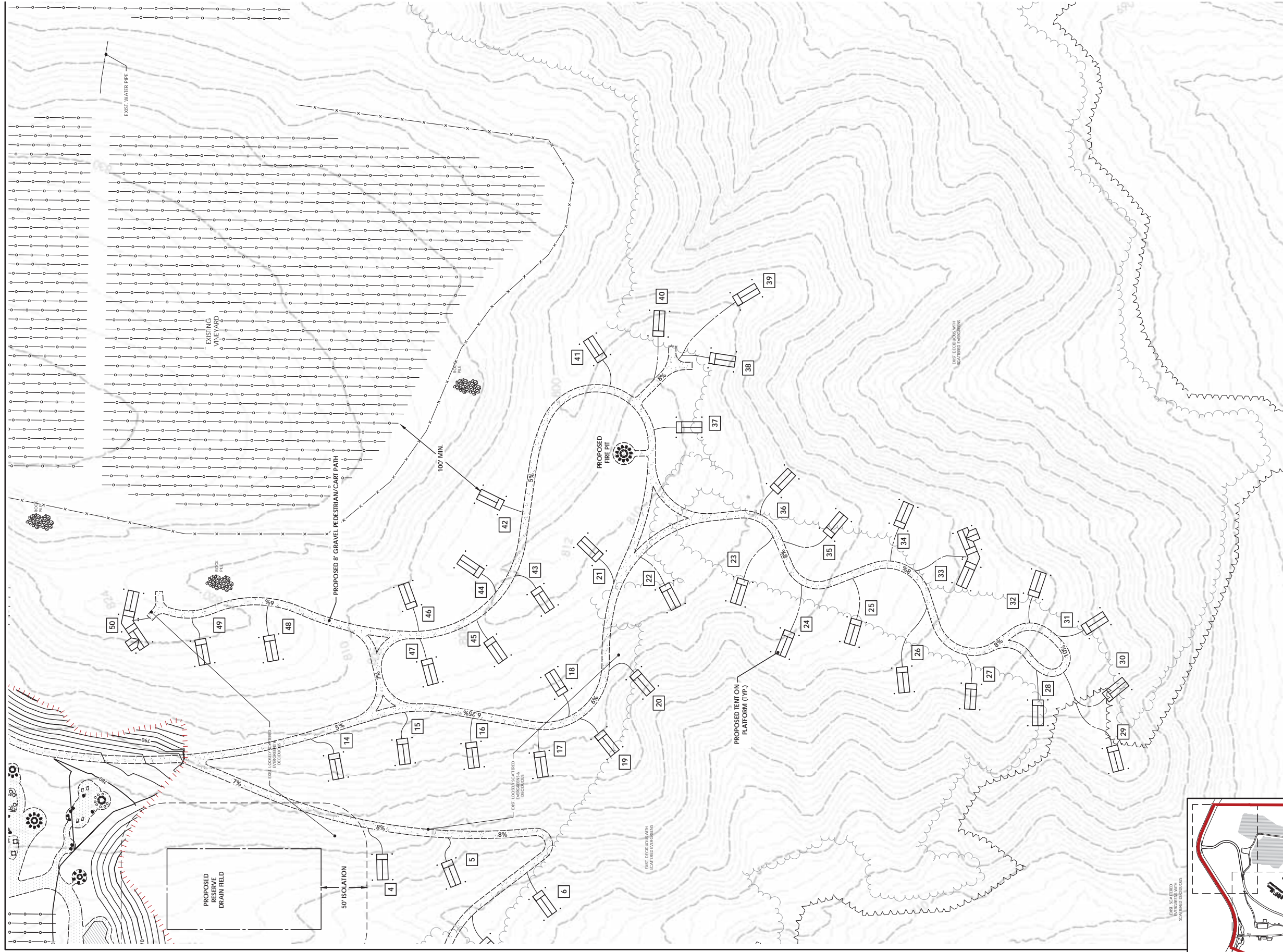
PRELIMINARY  
 PAK: phk  
 DR: mmm    CO: pph    CR: 05.25.23  
 JOB NO: 23054  
**C5.2**

**Mansfield**  
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 830 Cottageview Dr., Ste. 201  
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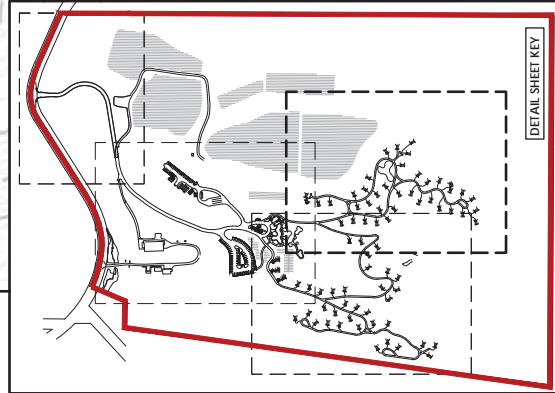


SEE SHEET C5.1

SEE SHEET C5.2



- NOTES: (FROM SHEET C4.0(A))**
1. APPROXIMATE DISTANCE BETWEEN TENTS 75 FT.
  2. GUEST TENTS ARE ON ELEVATED DECKS MINIMIZING DISTURBANCE BENEATH TENT. ON PERMANENT FOUNDATIONS AND MAY BE MOVED ACCORDINGLY. PATHS ACCESSING TENTS MAY BE ADJUSTED FROM WHAT IS SHOWN ON PLANS.



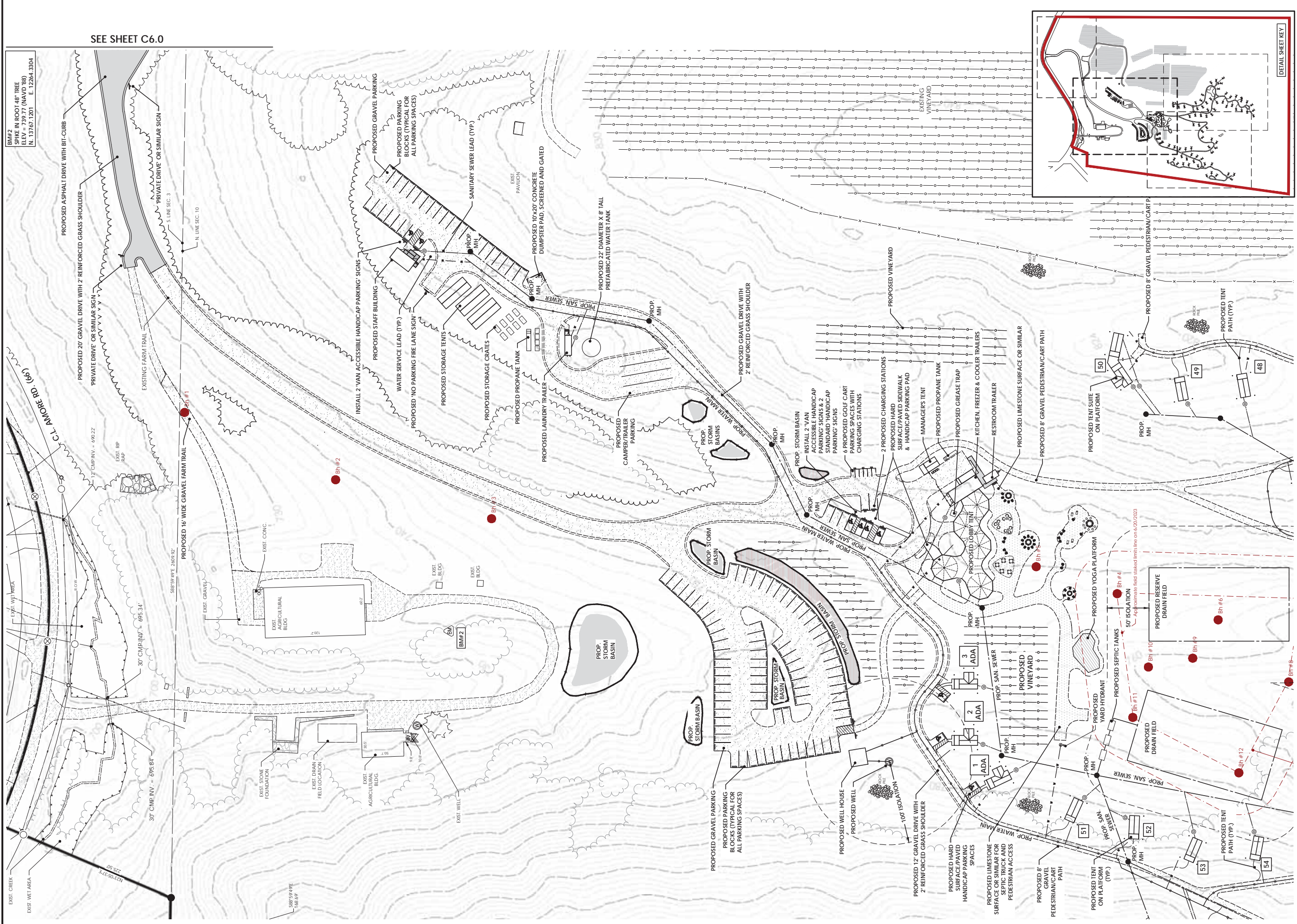
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0 25 50 100 150 feet

REV#	DATE	DIS	BY	CHK	DATE	CHK
1.0	10/11/2023	PKH	MMH	PKH		

Amortas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**GRADING AND STORM PLAN- EASTERLY TENT AREA**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

PRELIMINARY  
 PKH  
 mmh  
 JOB NO: 23054  
 C5.3

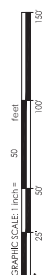
**Mansfield**  
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SEE SHEET C6.0

SEE SHEET C6.2

SEE SHEETS C6.2 AND C6.3



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**Mansfield**  
 Land Use Consultants

REV	DATE	BY	CHK	DESC
00	10/11/2023	PHK	MMW	ORIGINAL DESIGN (DWG APPLICATION)

Amoritas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**UTILITY PLAN - CORE AREA**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

PRELIMINARY

PHK

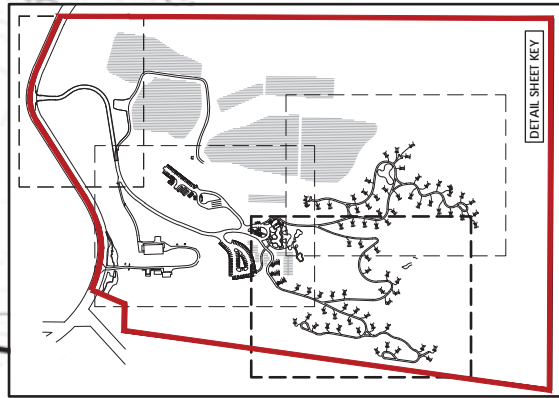
MMW PHK 05.25.23

23054

C6.0

SEE SHEET C6.1

SEE SHEET C6.3



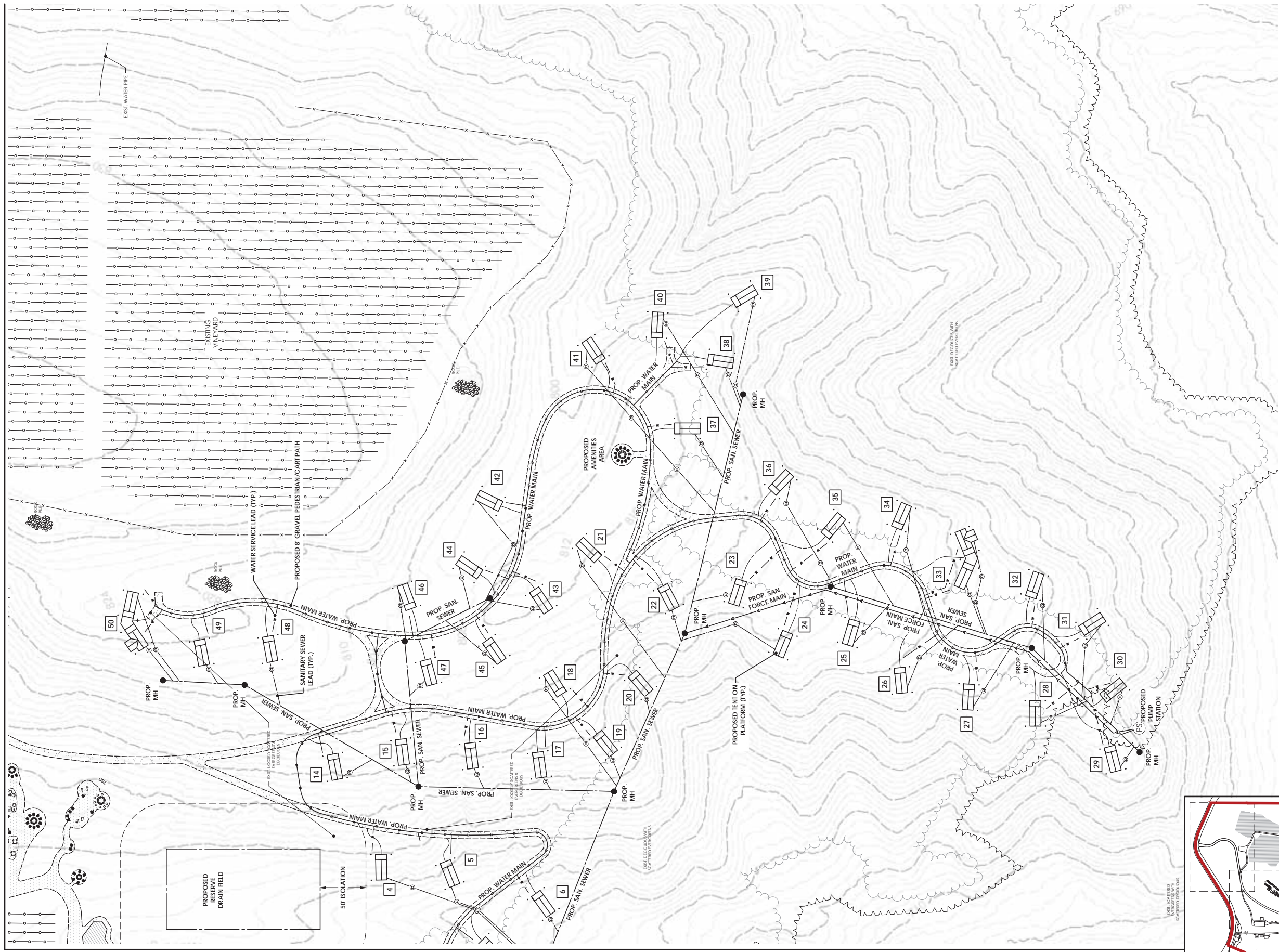
REV	DATE	BY	CHK	DESCRIPTION
1.0	10/13/2023	PHK	MMM	PHK ORIGINAL DESIGN (FOR APPLICATION)

Amortitas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**UTILITY PLAN - WESTERLY TENT AREA**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan

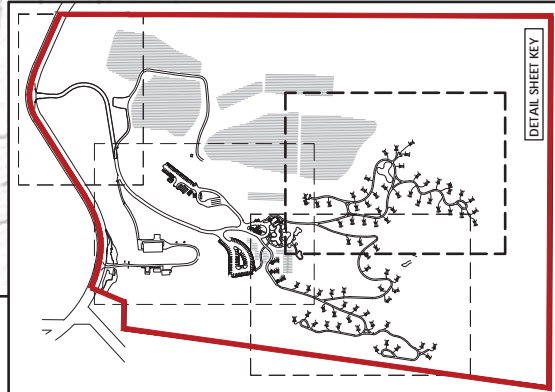
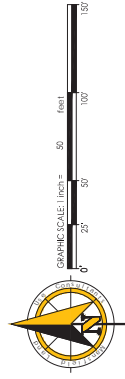
PRELIMINARY  
 PLOT: phk  
 DR: mmm    CO: phk    CR: 05-25-23  
 JOB NO: 23054  
**C6.1**

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SEE SHEET C6.1



SEE SHEET C6.2



**PRELIMINARY**

PL: phk  
 DR: mmm  
 JOB NO: 23054

CO: phk  
 CREATOR: 05-25-23

**C6.2**

REV	DATE	DIS	BY	CHK	CHK	DATE
1.0	10/11/2023	PHK	MAMA	PHK		

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Amoritas Holdings, LLC - Under Canvas  
**Proposed Agricultural Tourism Use**  
**UTILITY PLAN - EASTERLY TENT AREA**  
 Sections 3 & 10, Town 29 North, Range 12 West  
 Centerville Township, Leelanau County, Michigan